



Board of Variance Application

Referral Form – RDCK File B2601F

Date: March 10, 2026

You are requested to comment on the attached Board of Variance application for potential effect on your agency's interests. We would appreciate your response PRIOR TO APRIL 10, 2026 . If no response is received within that time, it will be assumed that your agency's interests are unaffected.

LEGAL DESCRIPTION & GENERAL LOCATION:

3156 Highway 3A, Nelson BC – Electoral Area 'F'
 LOT 2 DISTRICT LOT 4396 KOOTENAY DISTRICT PLAN 2275 (PID: 015-512-142)

PRESENT USE AND PURPOSE OF THE APPLICATION:

The subject property is approximately 10 km northeast of the City of Nelson and is located between Highway 3A and the West Arm of Kootenay Lake. The development of the property is constrained by the required 15 metre Floodplain Setback associated with Kootenay Lake and the 4.5 metre setback that is required from the front property line adjacent to Highway 3A.

There is presently a dwelling on the subject property and a Stop Work Order has been posted by the Building Department for initiating construction (renovation/addition) without a valid building permit. The purpose of this application is to allow the proposed additions (including decks) to be constructed with a 2.8 metre setback from the front property line whereas the Zoning Bylaw requires a 4.5 metre setback.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
0.09 hectares (0.23 acres)	No	Country Residential (R2) RDCK Zoning Bylaw No. 1675, 2004	Country Residential (CR) in Area 'F' Official Community Plan Bylaw No. 2214, 2011

APPLICANT: Scott A. Wright

Please provide your response via email. If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

**ZACHARI GIACOMAZZO, PLANNER
 REGIONAL DISTRICT OF CENTRAL KOOTENAY**

- MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE
- HABITAT BRANCH (Environment)
- FRONTCOUNTER BC (MFLNRORD)
- AGRICULTURAL LAND COMMISSION
- REGIONAL AGROLOGIST
- ENERGY & MINES
- MUNICIPAL AFFAIRS & HOUSING
- INTERIOR HEALTH, HBE TEAM
- SCHOOL DISTRICT NO.
- WATER SYSTEM OR IRRIGATION DISTRICT
- UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)

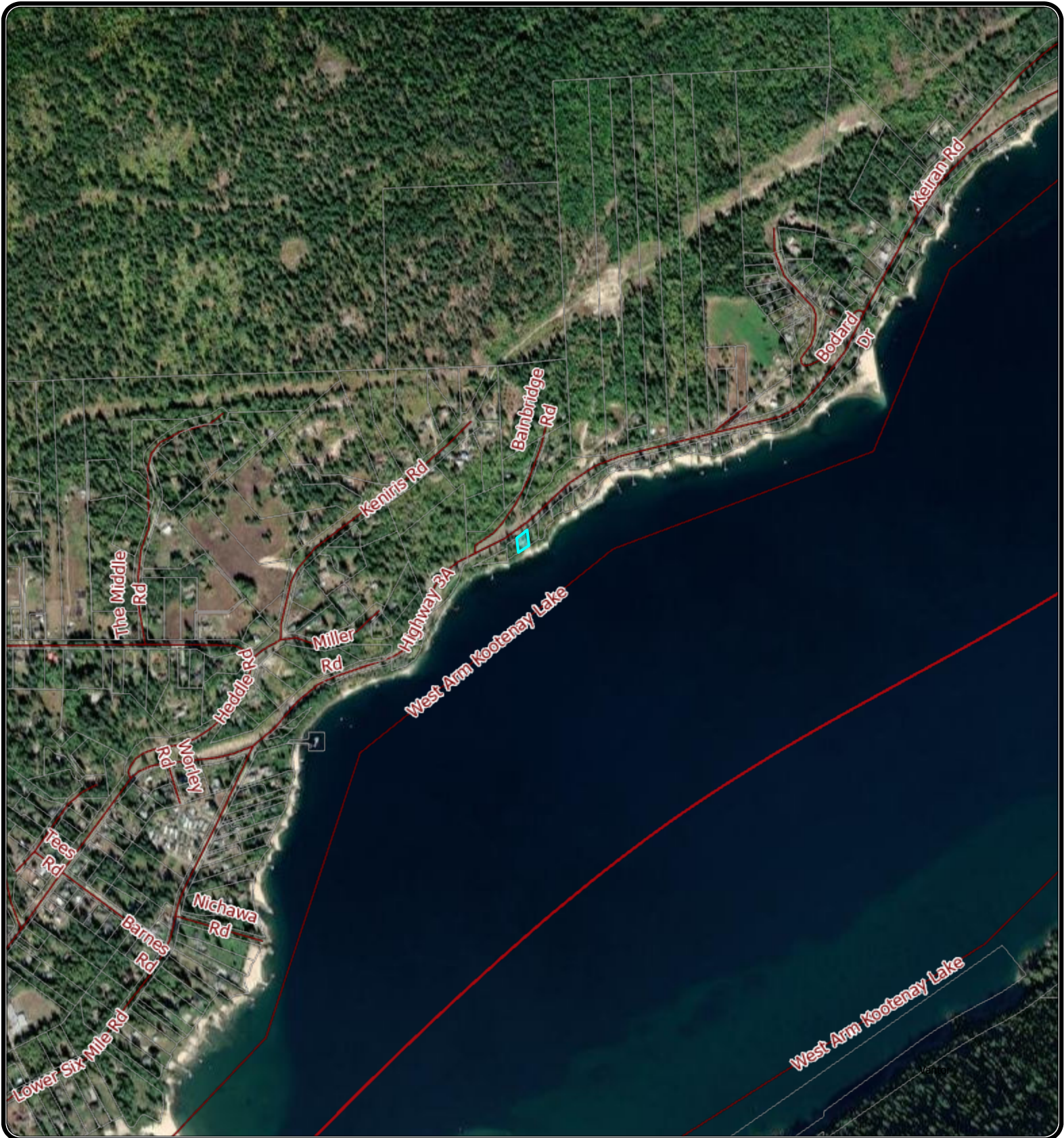
- REGIONAL DISTRICT OF CENTRAL KOOTENAY
- DIRECTORS FOR:
- A B C D E F G H I J K
- ALTERNATIVE DIRECTORS FOR:
- A B C D E F G H I J K
- APHC AREA
 - RDCK FIRE SERVICES
 - RDCK EMERGENCY SERVICES
 - RDCK BUILDING SERVICES
 - RDCK UTILITY SERVICES
 - RDCK RESOURCE RECOVERY
 - RDCK REGIONAL PARKS

INSERT COMMENTS ON REVERSE . . .

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.




RETURN TO: ZACHARI GIACOMAZZO, PLANNER
DEVELOPMENT AND COMMUNITY SUSTAINABILITY SERVICES
REGIONAL DISTRICT OF CENTRAL KOOTENAY
BOX 590, 202 LAKESIDE DRIVE
NELSON, BC V1L 5R4
Ph. 250-352-8190
Email: plandept@rdck.bc.ca

RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY
Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines

Map Scale:

1:18,056

Date: March 6, 2026







The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY
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maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:1,128

Date: March 6, 2026



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RDCK Map



Vantor



REGIONAL DISTRICT OF CENTRAL KOOTENAY
 Box 590, 202 Lakeside Drive,
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 maps@rdck.bc.ca

Legend

- Lakes and Rivers
- Streams and Shorelines
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
- Address Points

Map Scale:

1:4,514

Date: March 6, 2026





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RDCK Map







REGIONAL DISTRICT OF CENTRAL KOOTENAY
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maps@rdck.bc.ca

Official Community Plan

-  Country Residential
-  Open Space

Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:1,128

Date: March 6, 2026






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RDCK Map






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maps@rdck.bc.ca

Zoning Class

-  Open Space
-  Residential 2
-  Electoral Areas

Legend

-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:1,128

Date: March 6, 2026



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RDCK Map








Vendor



REGIONAL DISTRICT OF CENTRAL KOOTENAY
Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  Water Front Access
-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:2,257

Date: March 6, 2026



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RDCK Map








Vendor



REGIONAL DISTRICT OF CENTRAL KOOTENAY
Box 590, 202 Lakeside Drive,
Nelson, BC V1L 5R4
Phone: 1-800-268-7325 www.rdck.bc.ca
maps@rdck.bc.ca

Legend

-  ParcelMap BC - Crown Land
-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:2,257

Date: March 6, 2026



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Dear RDCK Planning Department,

Board of Variance,

I am writing in response to the request that I obtain a Board of Variance Permit for my proposed renovations. After careful review of the applicable regulations, discussions with colleagues, 30 years personal experience in the field, in addition to the circumstances surrounding my property, I respectfully submit that a Board of Variance Permit should be granted based on the following information.

Prior to submitting my application, I attended two in-person meetings with the previous manager to review my proposed plans. At that time, I was not advised that a variance would be necessary. Since then, I have provided all documentation and materials requested. This has already been a lengthy process, involving significant time and financial commitment. Construction insurance, home warranty insurance, and a construction loan were secured prior to my initial submission in October/November. I am working within a one-year construction timeline, and four months have already elapsed. Additionally, I experienced delays well beyond normal processing times due to correspondence being sent to an incorrect email address, an issue that was acknowledged and apologized for by staff, with the expectation of a prompt resolution.

With respect to the property itself, this is not a new build. Based on my research, there is nothing in the regulations that specifically states that what I am proposing warrants a variance. In addition, my research indicates that my property is nonconforming, as RDCK may not have records prior to 1983.

As per section 528 of Division 14 of the local government act, under the title, "Non-conforming uses: authority to continue use"

- (1) Subject to this section, if, at the time a land use regulation bylaw is adopted,
 - (a) Land, or a building or other structure, to which that bylaw applies is lawfully used, and
 - (b) The use does not conform to the bylaw,

The use may be continued as a non-conforming use.

According to information from RDCK, nonconforming properties do not require development permits for construction, renovation, or repair to an existing building that does not increase the building footprint. Development permits ensure standards are met; variance permits are intended to authorize departures from those standards. Since I am remaining within all pre-existing limits, I am not breaking any standards that would require a standard variance. My plan is a renovation and improvement of an existing small house situated on a reasonably sized lot that is significantly constrained by established setbacks to both the lake and the front property line. I am not proposing to expand beyond the existing footprint, nor am I seeking to reduce setbacks. I am simply renovating and improving what is already lawfully in place. I cannot help where the

structures on my property exist. The structures were built in their position because it was the most logical place to build relating to the topography of the land. At the time, the adopted bylaws or setbacks were not in place or relevant for construction.

Setbacks are intended for fire safety, environmental protection, road safety, privacy, and landuse regulation. My project maintains the house in the same position, and therefore does not compromise any of these purposes. The northwest side is bordered by Crown land, and my driveway occupies that space. No development will ever occur on that adjoining land, eliminating concerns about fire spread or overcrowding. For fire safety, RDCK also requires a safe, clear, direct path to the lower entry, which necessitates replacing existing stairs and retaining walls. These elements already existed and will simply be rebuilt to current standards. It appears that you are requesting a variance for something that is mandatory. Historically, retaining walls have been common and necessary in this region, particularly given the mountainous terrain, and have often been constructed along property lines without requiring a variance.

There is significant separation between my house and the neighbouring properties. Crown land separates my property from the western side, and there is approximately 20 metres to the neighbouring property on the east. Therefore, privacy, light, air, sightlines, noise, neighbourhood character, and aesthetics will not be negatively affected. On the contrary, the improvements will enhance the appearance and long-term stability of the property, which in turn benefits surrounding properties.

With respect to road safety, I have consulted with the Ministry of Transportation and have submitted the required setback application. I was advised that there were no concerns, given that this is an existing house. There remains ample space between the house and the highway right-of-way, including a tree buffer, parking space perpendicular to the highway, and a designated paved bus pull-out area.

On the lakeside, the house remains well within the required setback from the natural boundary at the rear of the house.

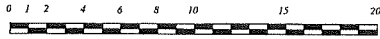
For all of these reasons, I respectfully submit that my proposal does not contravene setback regulations and does not undermine the purpose of those regulations. As no increase to the footprint or encroachment into setbacks is proposed, I believe the proposed plans meet requirements for approval of a Board of Variance Permit.

I appreciate your time and careful consideration of this matter. I am hopeful that upon review of these points, we can come to a mutual understanding and proceed with the planning permits.

Thank you for your attention.

Sincerely,
Scott Wright

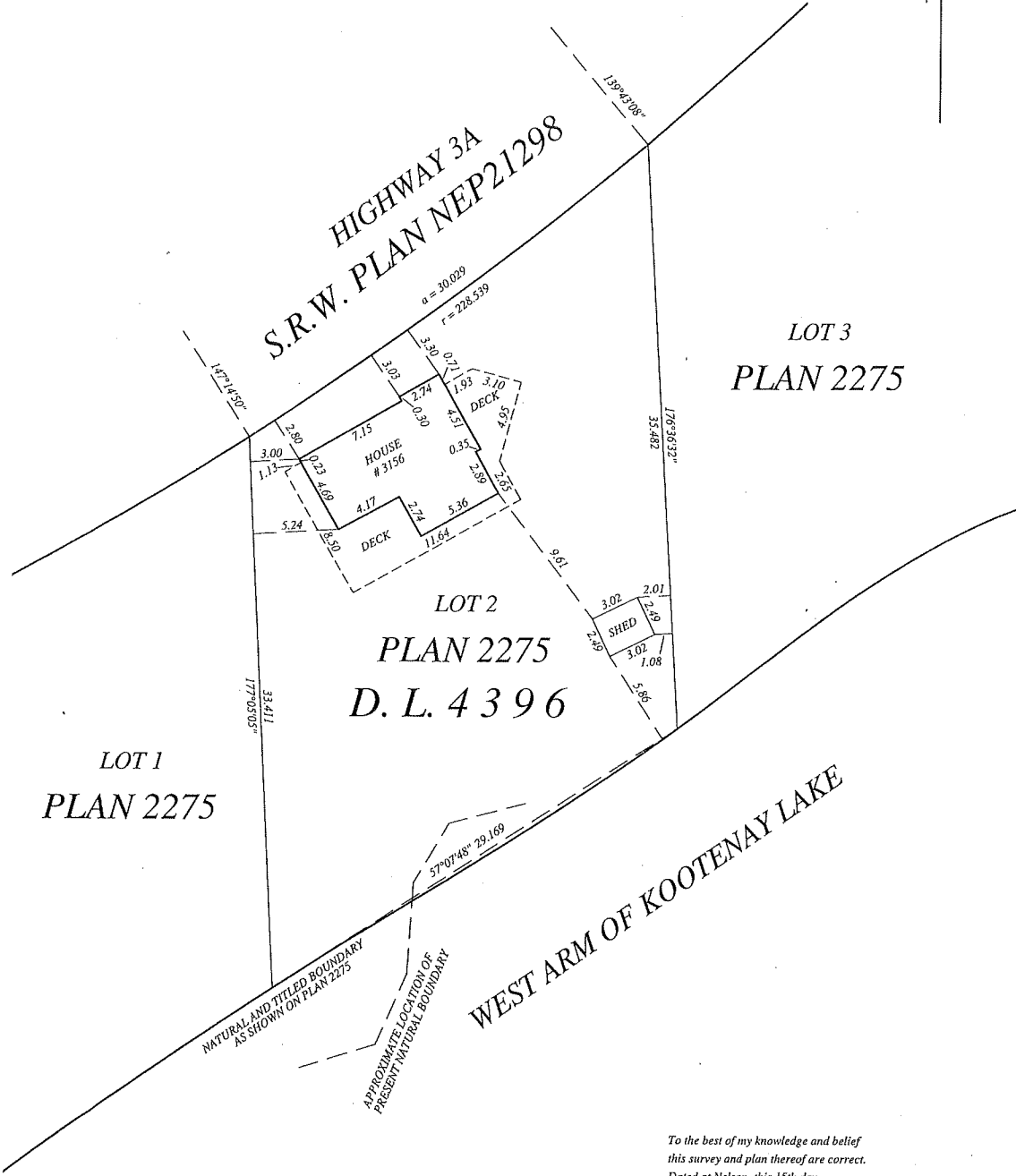
BCLS BUILDING LOCATION CERTIFICATE FOR
 LOT 2 DISTRICT LOT 4396
 KOOTENAY DISTRICT PLAN 2275



SCALE = 1 : 250

LEGEND

Bearings are Grid, derived from Dual Frequency GNSS observations.
 All distances are in metres
 All measurements are to the outside of exterior sheathing.



To the best of my knowledge and belief
 this survey and plan thereof are correct.
 Dated at Nelson, this 15th day
 of May, 2024

Darrin Connatty
 13K191

Digitally signed by Darrin Connatty 13K191
 cn=Darrin Connatty, 13K191, ou=Vitality, id at
 www.juricert.com, KU, c=CA
 BCLand Surveyor, e=CA
 Date: 2024.05.15 10:12:43 PST
 Reason: none

B.C.L.S.



This survey and plan does not purport
 to establish property boundaries

Not valid unless "Originally" Signed and Sealed.

Residential Renovation

ISSUED FOR BUILDING PERMIT

CIVIC ADDRESS: 3156 Highway 3A
RDCK Region BC, V1L 6M7

LEGAL DESCRIPTION: Lot 2 Plan NEP2275 District Lot 4396 Kootenay Land District

Project Summary

DESCRIPTION:
The proposed project is for a renovation/addition to the existing single detached home at 3156 Highway 3A located in the Regional District of Centray Kootenay.

APPLICABLE PLANNING DOCUMENTS: Zoning Bylaw No. 1675, 2004

ZONING: R2 - Country Residential
ELECTORAL AREA: F
PROPERTY AREA: 0.23 Acres [930.78 m² / 10018.8 SF]

SETBACKS:
FRONT (NORTH): 2.08m (Existing non-conforming, grandfathered)
EAST (ADJACENT PROPERTY): 11.5m
SOUTH (WEST ARM OF KOOTENAY LAKE): 17.9m
WEST (CROWN LAND): 3.0m

NON-CONFORMING USES AND SITING "GRANDFATHERING" (ZONING BYLAW NO. 1675, 2004)
Non-conforming uses and siting shall comply with all applicable requirements of Section 528 of the Local Government Act (LGA).

SECTION 528 LGA:

(1) Subject to this section, if, at the time a land use regulation bylaw is adopted,
(a) land, or a building or other structure, to which that bylaw applies is lawfully used, and
(b) the use does not conform to the bylaw,
the use may be continued as a non-conforming use.

SECTION 529 LGA:

(1) If the use and density of buildings and other structures conform to a land use regulation bylaw but
(a) the siting, size or dimensions of a building or other structure constructed before the bylaw was adopted does not conform with the bylaw, or
(b) the siting, size, dimensions or number of off-street parking or loading spaces constructed or provided before the bylaw was adopted does not conform with the bylaw,
the building or other structure or spaces may be maintained, extended or altered to the extent authorized by subsection (2).

(2) A building or other structure or spaces to which subsection (1) applies may be maintained, extended or altered only to the extent that

(a) the repair, extension or alteration would, when completed, involve no further contravention of the bylaw than that existing at the time the repair, extension or alteration was started, and
(b) in the case of protected heritage property, the repair, extension or alteration is permitted or authorized in accordance with the provisions governing the heritage protection of the property.

Building Code Data

GOVERNING BUILDING CODE: BCBC 2024
APPLICABLE BUILDING CODE PART: Part 9
NUMBER OF BUILDINGS: One
BUILDING AREA: 86.88 m² [935.22 SF]
BUILDING HEIGHT: 8.4 m [27'-7" FT]

Climate Data - BCBC 2024, Division B - Appendix C

Elevation: 600m
Design Temperatures:
January, 2.5%: -18 C
July, 2.5% Dry: +31 C
Degree Days Below 18C: 3500
One Day Rain, 1/50: 59mm
Annual Total Precipitation: 700mm
Annual Total Rainfall: 460mm
Driving Rain Wind Pressure 1/5: 60 Pa
Snow Load, 1/50:
S_r: 5.5 kPa (smooth normalized uniform load)
S_i: 0.1 kPa (load due to rain fall on snow)
Hourly Wind Pressures:
1/10 year: 0.25 kPa
1/50 year: 0.33 kPa
Radon Area: No known elevated risk
Seismic Hazard:
S_a (0.2s): 0.27
Specified Snow Load: 3.02 kPa

General Project Notes

DIVISION 01 - GENERAL REQUIREMENTS

- ALL WORK TO COMPLY WITH THE 2024 BRITISH COLUMBIA BUILDING CODE (2024-BCBC), 2020 NATIONAL FIRE CODE OF CANADA, NFPA-13 AND ALL CURRENT GOVERNING BUILDING CODES, REGULATIONS, BY-LAWS AND REQUIRED REFERENCED STANDARDS.
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS AND PERMITS.
- VERIFY EXISTING CONDITIONS (INCL. LOCATIONS OF UNDERGROUND SERVICES AND HIDDEN CONSTRUCTIONS) PRIOR TO COMMENCEMENT OF WORK. EXISTING CONDITIONS INFORMATION IS PROVIDED BY THE OWNER.
- THE FOLLOWING ITEMS MUST BE DESIGNED AND/OR REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER: ALL MANUFACTURED ENGINEERED WOOD PRODUCTS, RETAINING WALLS GREATER THAN 1.8m (6'-0") IN HEIGHT, AND CLEAR SPANS LARGER THAN 12.2m (40'-0"). THE OWNER IS RESPONSIBLE FOR ASSESSING THE SITE FOR ANY HAZARDOUS MATERIALS AND PERFORMING TESTS AS PER WORKSAFE BC STANDARDS PRIOR TO CONSTRUCTION.
- PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING BUILDING AND SAFETY CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC.
- ALL NATURAL WATER SOURCES, COURSES AND WATER WAYS WILL BE PROTECTED FROM CONTAMINATION BY THE CONSTRUCTION PROCESS USING STANDARDS SET BY THE MINISTRY OF TRANSPORTATION AND MINISTRY OF ENVIRONMENT.
- NO NATURAL WATER SOURCE, COURSE OR WATER WAY WILL BE ALTERED.

DIVISION 03 - CONCRETE

- ALL REINFORCED CONCRETE REQUIRED FOR STRUCTURAL SUPPORT TO MEET OR EXCEED BCBC PART 4 AND 9.3.1.7 MIXTURE REQUIREMENTS.
- COLD WEATHER INSTALLATION OF CONCRETE SHALL BE PER BCBC 9.3.1.9 REQUIREMENTS.
- ALL EXTERIOR CONCRETE WALKING SURFACES TO BE BROOM FINISH U.N.O.
- APPROVED FOUNDATION BREAK/EXPANSION JOINT MATERIAL IS REQUIRED AT ALL LOCATIONS WHERE CONCRETE ABUTS CONCRETE OR OTHER BUILDING SURFACE.
- SEAL ALL PENETRATIONS OF CONCRETE SLAB TO INTERIOR SPACES WITH URETHANE SEALER, OR A APPROVED ALTERNATE.

DIVISION 04 - METALS

- GALVANIZED METAL USED IN EXPOSED LOCATIONS SHALL HAVE ZINC COATING OR ALUMINUM-ZINC ALLOY COATING PER AZM 150.
- ALL STRUCTURAL STEEL TO BE SEALED OR PAINTED WITH RUST INHIBITING COATING.

DIVISION 05 - WOOD, PLASTICS AND COMPOSITES

- ALL LUMBER AND WOOD PRODUCTS USED SHALL BE GRADED AND HAVE STAMPS INDICATING GRADE PER BCBC 9.3.2.1.
- ALL STRUCTURAL ELEMENTS ARE REQUIRED TO BE DESIGNED AND REVIEWED BY A QUALIFIED STRUCTURAL ENGINEER.
- ALL WOOD PANEL PRODUCTS TO BE INSTALLED 'FACE OUT' SO THAT GRADE STAMP IS VISIBLE.
- NO WOOD SHALL BE IN DIRECT CONTACT WITH CONCRETE.
- NO UNTREATED WOOD SHALL BE LESS THAN 200mm [8"] ABOVE FINISHED GRADE.

DIVISION 07 - THERMAL AND MOISTURE PROTECTION

- PERIMETER DRAINS ARE REQUIRED AT THE BASE OF ALL STRUCTURAL WALLS UNLESS QUALIFIED ALTERNATIVE IS DESIGNED BY A GEOTECHNICAL ENGINEER.
- ALL HORIZONTAL JUNCTIONS BETWEEN CLADDING SYSTEMS TO BE CONTINUOUSLY FLASHED WITH NON-RUSTING METAL FLASHING AT MIN. 6% SLOPE, EXTENDING 10mm MINIMUM OVER CLADDING BELOW, AND WITH DRIP OFFSET AT 5mm MINIMUM FROM OUTER FACE.
- ALL FLASHING TERMINATIONS TO HAVE MINIMUM 25mm [1"] END DAM.
- ALL CONCEALED ROOF SPACES TO HAVE PASSIVE OR MECHANICAL VENTILATION WITH MINIMUM TWO VENTILATION PATHS.
- DURABLE RODENT AND INSECT PROTECTION REQUIRED AT ALL EXTERIOR ENVELOPE LOCATIONS WITH SPACES/VOIDS ACCESSIBLE FROM OUTSIDE WITH OPENINGS GREATER THAN 12.7mm [1/2"], RODENT AND INSECT PROTECTION SHALL NOT INHIBIT NATURAL AIRFLOW TO DRAINAGE PLANE.

DIVISION 08 - OPENINGS

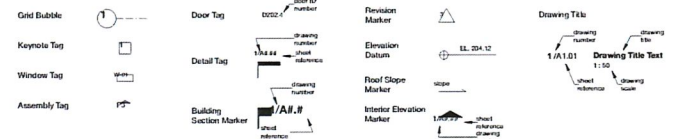
- MANUFACTURED AND PRE-ASSEMBLED WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO:
a) AAMA/WDMA/CSA 1011.5.2/4449 - NORTH AMERICAN FENESTRATION STANDARD/SPECIFICATION (NAFS) FOR WINDOWS, DOORS AND SKYLIGHTS,
b) A4401 - CANADIAN SUPPLEMENT TO AAMA/WDMA/CSA 1011.5.2/4449.
- INSTALLATION OF WINDOWS, DOORS AND SKYLIGHTS SHALL CONFORM TO BCBC 9.7.6.
- GLASS IN DOORS SHALL CONFORM TO BCBC 9.6.1.2.
- ALL EXTERIOR DOORS TO MEET SECURITY REQUIREMENTS OF BCBC 9.7.5.2.
- ALL BEDROOMS TO HAVE AN EGRESS WINDOW PER BCBC 9.9.10.2.



Drawing List

Architectural	
A0.0	Cover Sheet
A0.1	Assemblies & Schedules
A1.0	Site Plan
A2.0	Basement Floor Plan
A2.1	Main Floor Plan
A2.2	Roof Plan
A3.0	Exterior Elevations
A4.0	Building Sections

Architectural Symbols



FLOOR ASSEMBLIES

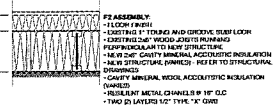
F1 - 2nd Basement Floor

FR: #4
STC: #4
R-Value: #4



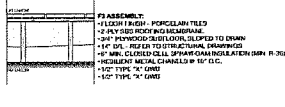
F2 - Main Floor Framing - CBCFC Floor Fsh (R.10.3.1-10)

FR: #4
STC: #4
R-Value: #4



F3 - Covered Deck - Based on CBCFC Floor Fsh

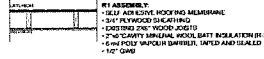
FR: #4
STC: #4
R-Value: #4



ROOF ASSEMBLIES

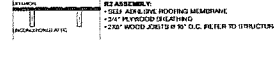
R1 - Main Roof - Existing Structure

FR: #4
STC: #4
R-Value: #4



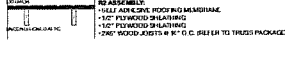
R2 - New Roof

FR: #4
STC: #4
R-Value: #4



R3 - New Curve Roof

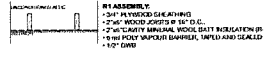
FR: #4
STC: #4
R-Value: #4



CEILING ASSEMBLIES

C1 - Main Floor Ceiling Below New Roof (R2)

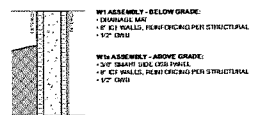
FR: #4
STC: #4
R-Value: #4



WALL ASSEMBLIES

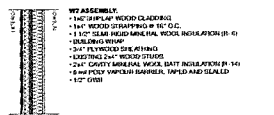
W1 - 1CF FOUNDATION WALL

FR: #4
STC: #4
R-Value: #4



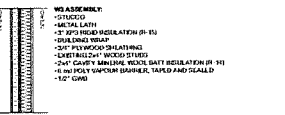
W2 - EXISTING EXTERIOR WALLS - SHIPLAP CLADDING

FR: #4
STC: #4
R-Value: #4



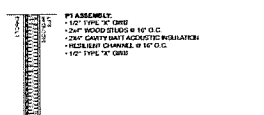
W3 - EXISTING EXTERIOR WALLS - STUCCO

FR: #4
STC: #4
R-Value: #4



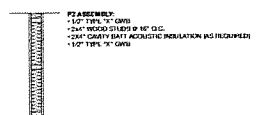
P1 - 6\"/>

FR: #4
STC: #4
R-Value: #4



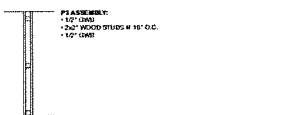
P2 - Interior Partition

FR: #4
STC: #4
R-Value: #4



P3 - Interior Partition

FR: #4
STC: #4
R-Value: #4



Door Schedule

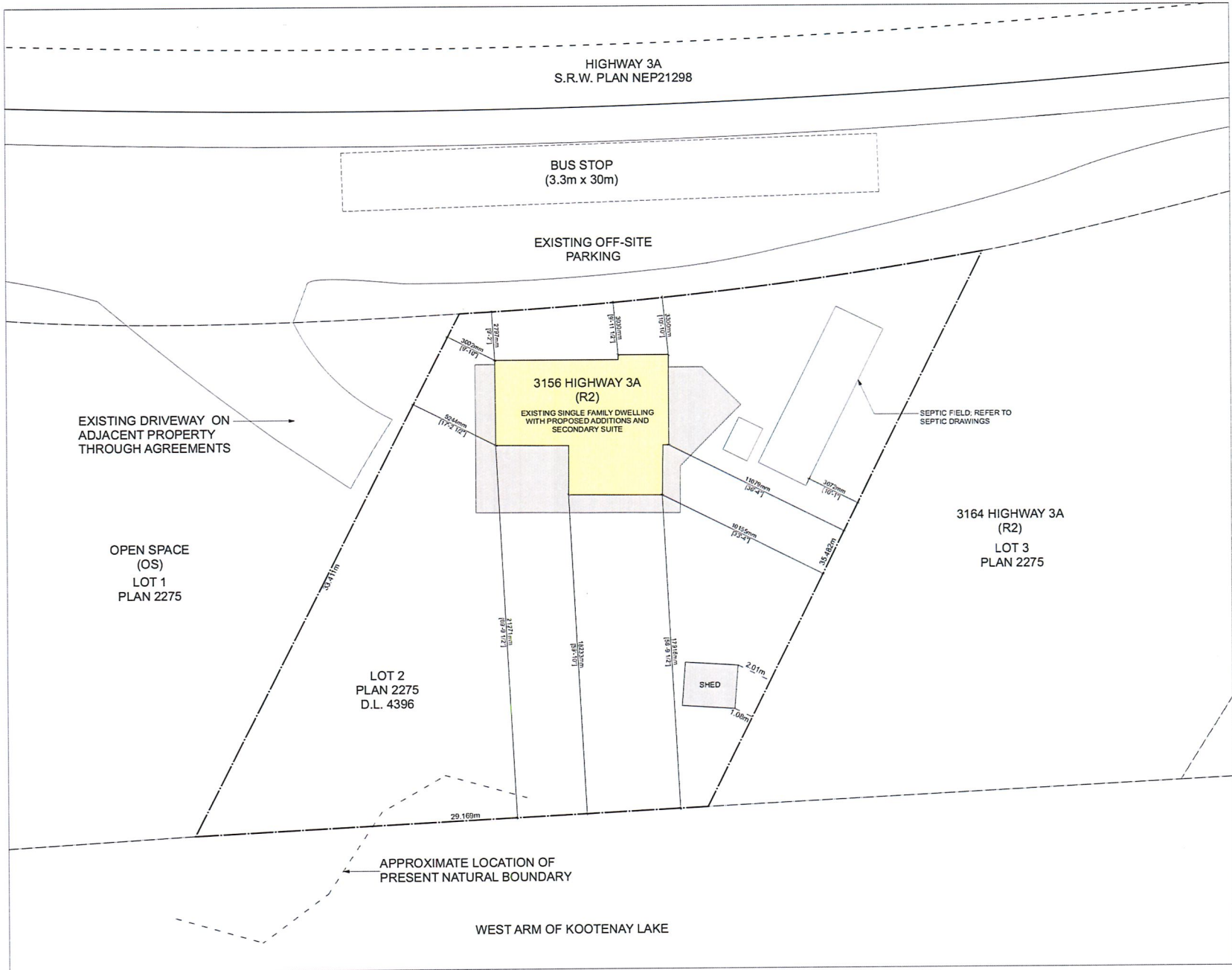
Door	Location	Room	Width	Height	Type	Hardware / Notes
D001.1	Living Room	R001	7'2\"/>			
D001.2	Living Room	R001	1'0\"/>			
D001.3	Living Room	R001	7'2\"/>			
D002.1	Kitchen / Bedroom	R002	3'0\"/>			
D003.1	WC	R003	3'0\"/>			
D003.1.1	Garage	R004	3'0\"/>			
D005.1	Staircase	R005	7'2\"/>			
D101.1	Kitchen & Dining	R101	2'0\"/>			
D101.2	Kitchen & Dining	R101	3'0\"/>			
D101.3	Closest	R101	2\"/>			
D102.1	Passage - Bedroom	R102	3'0\"/>			
D102.2	Passage - Bedroom	R102	3'0\"/>			
D103.1	Bedroom	R103	3'0\"/>			
D103.2	Bedroom	R103	3'0\"/>			
D104.1	WC	R104	3'0\"/>			

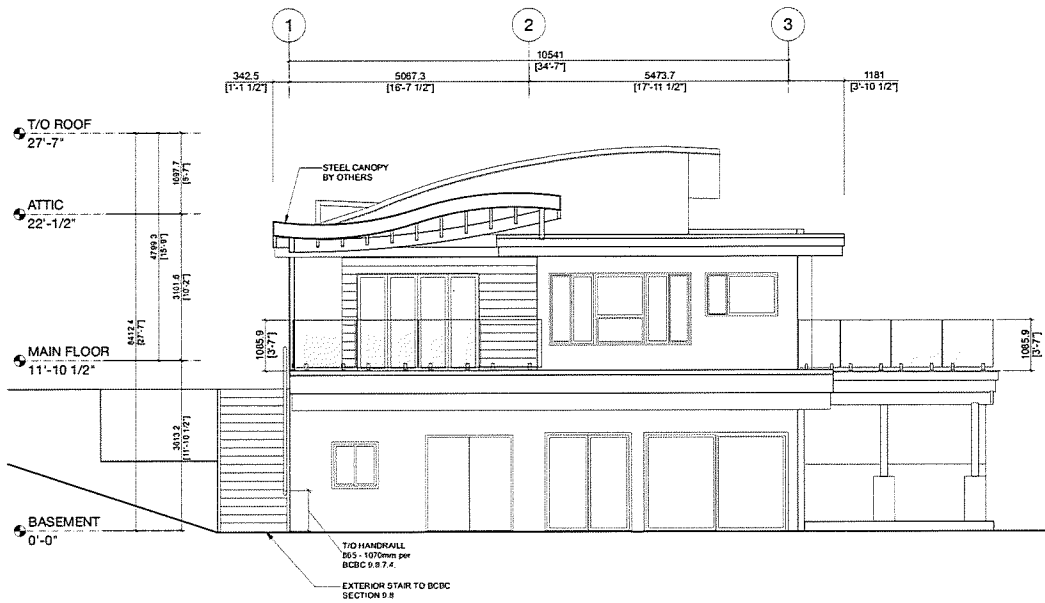
Window Schedule

Window	Location	Room	Width	Height	Notes
W201	Kitchen / Bedroom	R002	5'4\"/>		
W202	Staircase	R005	2'2\"/>		
W101	Kitchen & Dining	R101	5'4\"/>		
W102	Kitchen & Dining	R101	5'4\"/>		
W103	Kitchen & Dining	R101	5'4\"/>		
W104	Kitchen & Dining	R101	5'4\"/>		
W105	Passage - Bedroom	R102	5'4\"/>		
W106	Passage - Bedroom	R102	4'4\"/>		
W107	Bedroom	R103	4'4\"/>		
W108	WC	R104	4'4\"/>		

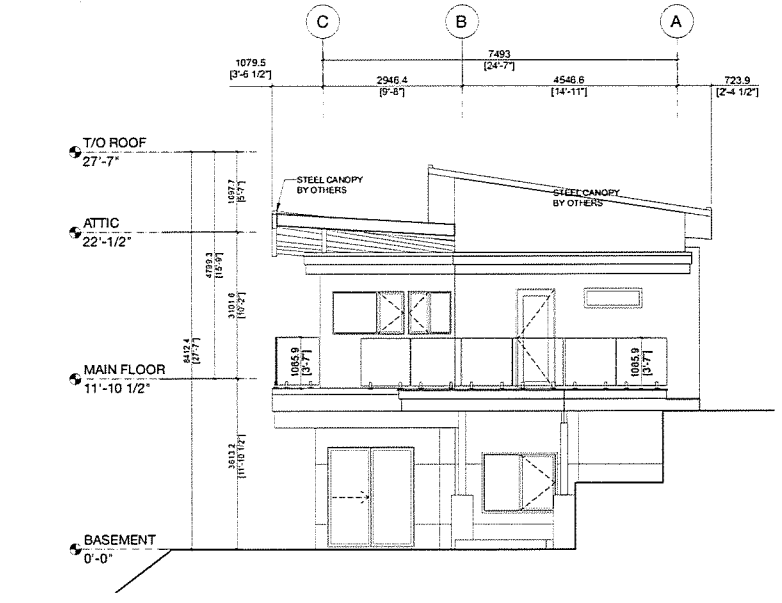
NOTES:

1. ALL ASSEMBLY TYPES TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULES. DETAILS AND WALL SECTIONS ADDITIONAL FURRING MAY BE REQUIRED.
2. ALL ASSEMBLY TYPES TO BE READ IN CONJUNCTION WITH STRUCTURAL DRAWINGS.
3. ALL FIRE SEPARATIONS TO CONTRIBUTE TO U_s OF FLOOR OR ROOF DECK ASING, SEAL TOP AND BOTTOM OF WALL, SEAL ALL DUCT AND PIPE PENETRATIONS, WITH UN-TESTED FIRESTOP SYSTEM (FIRE RAPE CUTS) IN EQUID-ADISE CEILING.
4. ALL EXTERIOR WALL ASSEMBLIES TO BE READ IN CONJUNCTION WITH EXTERIOR ELEVATIONS, WALL SECTIONS AND DETAILS FOR JOINT TYPES, LOCATIONS.
5. ALL WOOD BLOCKING OR STRAPPING ON EXTERIOR SIDE OF ABOVEGROUND FOUNDATION TO BE CLEAR ON TREATED AS PER SPECIFICATIONS.
6. ALL METAL CLADDING SUPPORTS TO BE CALVICATED AS PER SPECIFICATIONS.

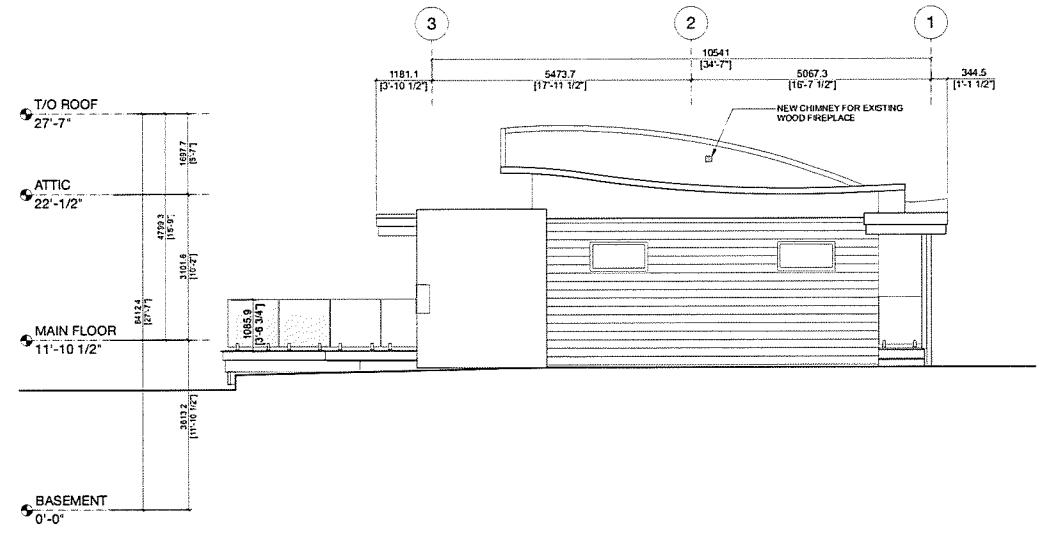




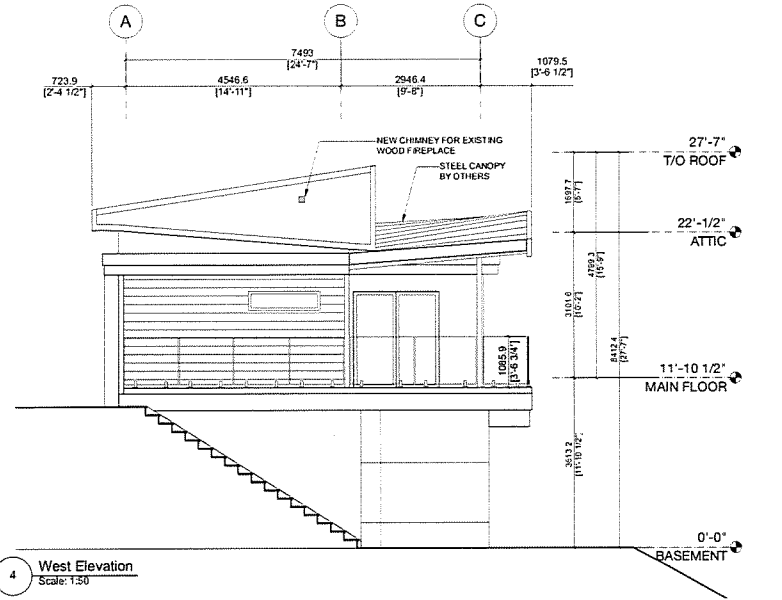
1 South Elevation
Scale: 1:50



2 East Elevation
Scale: 1:50



3 North Elevation
Scale: 1:50



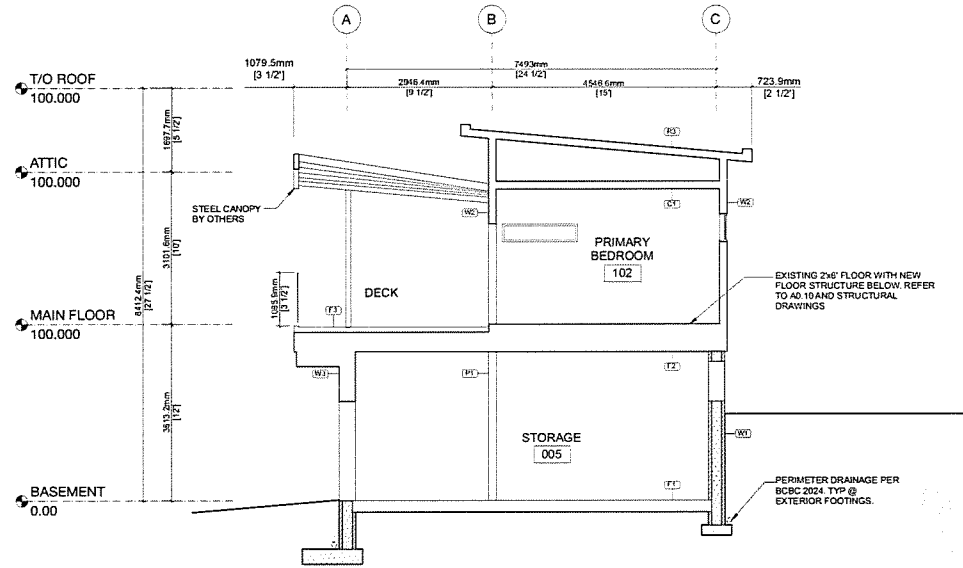
4 West Elevation
Scale: 1:50

Residential Renovation
BUILDING PERMIT SUBMISSION
Scott Wright
3166 Highway 3A, Nelson, BC

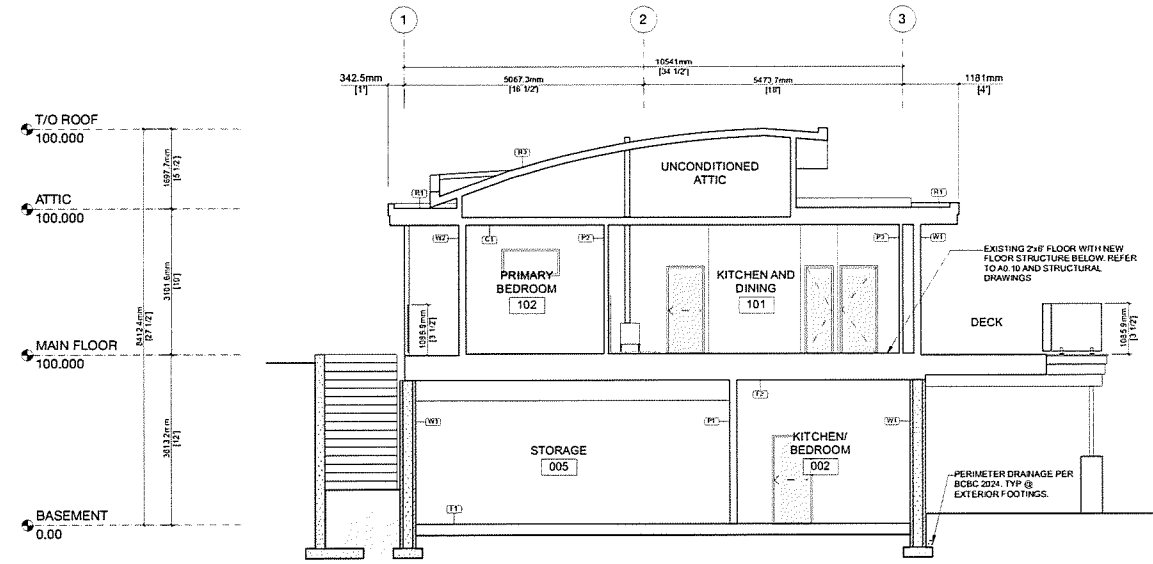
1. ALL PERMITS SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF WORK.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE BC BUILDING CODE AND ALL APPLICABLE REGULATIONS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
5. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
6. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
9. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
10. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A SAFE AND SOUND CONDITION AT ALL TIMES.

Exterior Elevations

A3.0



1 N-S BUILDING SECTION
Scale: 1:48



2 E-W BUILDING SECTION
Scale: 1:50

STRUCTURAL NOTES:

- GENERAL NOTES:**
- DESIGN IS BASED ON BRITISH COLUMBIA BUILDING CODE 2024.
 - STRUCTURAL DESIGN IS FOR A RENOVATION OF AN EXISTING RESIDENCE NEAR NELSON, BC.
 - READ STRUCTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER DRAWINGS.
- FOUNDATIONS:**
- BEAR ALL FOOTINGS ON UNDISTURBED SOIL (OR APPROVED ENGINEERED FILL).
 - NOTWITHSTANDING THE ELEVATIONS INDICATED IN THE DRAWINGS, PROVIDE FROST COVER TO ALL FOOTINGS IN ACCORDANCE WITH LOCAL REGULATIONS.
 - REMOVE ALL ORGANIC MATERIAL AND UNUSABLE FILL FROM THE BUILDING AREA.
 - PROTECT EXCAVATIONS FOR FOOTINGS FROM RAIN, SNOW, FREEZING TEMPERATURES, STANDING WATER AND DRYING.
 - BACKFILL AGAINST FOUNDATION WALLS ONLY AFTER WALLS HAVE BEEN TIED INTO FLOORS OR ROOF.
 - PROVIDE MIN. 4" DIAMETER PERFORATED DRAIN PIPE AROUND PERIMETER OF FOUNDATION, ENCASED IN MIN. 12" DRAIN ROCK AND NON-WOVEN GEOTEXTILE, AND SLOPE TO DRAIN.

- CONCRETE:**
- CONCRETE MATERIALS, QUALITY, MIXING, PLACING, FORMWORK AND OTHER CONSTRUCTION PRACTICES TO CONFORM TO CSA-A23.1 (LATEST EDITION).
 - CONCRETE SHALL ADHERE TO THE SPECIFICATIONS NOTED BELOW:

CONCRETE APPLICATION	EXPOSURE CLASS	MIN. 28-DAY STRENGTH (MPa)	AIR ENTRAINMENT (%)
EXTERIOR WALLS & COLUMNS	F2	25	4-7%
EXTERIOR SLABS	C2	32	5-8%
INTERIOR WALLS & COLUMNS	N	25	NA
INTERIOR SLABS & TOPPING	N	25	NA
FOUNDATIONS	N	25	NA

- STEEL REINFORCING TO CONFORM TO CONFORM TO CSA G30.18 (LATEST EDITION).

4. CONCRETE COVER TO PRIMARY REINFORCEMENT:

FOOTINGS	TOP	15MM (5/8")
BOTTOM	50MM (2")	
WALLS, PIERS AND COLUMNS	INTERIOR	25MM (1")
EXTERIOR	40MM (1 1/2")	
	25MM BARS	50MM (2")

- PROVIDE BENT CORNER BARS TO MATCH HORIZONTAL REINFORCING SIZE AND SPACING FOR ALL WALLS AT CORNERS AND INTERSECTIONS. ALTERNATE HOOK DIRECTION AT INTERSECTIONS. BENT CORNER BARS SHALL BE MIN. 600MM X 600MM (24"X24").
- PROVIDE SUPPORT BARS AND CHAIRS TO SUPPORT MAIN REINFORCEMENT AS REQUIRED.

STRUCTURAL STEEL:

N/A

WOOD CONSTRUCTION:

- ALL CARPENTRY TO BE DONE IN ACCORDANCE WITH THE BCBC 2024 AND CSA-086 (LATEST EDITION).
- DIMENSIONAL LUMBER: NEW JOISTS RAFTERS AND BEAMS TO BE D.F.I.R NO. 2 GRADE OR BETTER UNLESS NOTED OTHERWISE. BUILT-UP COLUMNS PARTITIONS AND EXTERIOR WALL STUDS TO BE S.P.F. NO. 2 GRADE OR BETTER UNLESS NOTED OTHERWISE.
- TIMBER MEMBERS, NEW BEAMS RAFTERS AND COLUMNS TO BE D.F.I.R NO. 1 GRADE OR BETTER UNLESS NOTED OTHERWISE.
- NOMINAL TIMBER SIZES ARE USED. 8X10 CALLED OUT = 7 1/2" X 9 1/2" FINISHED DIMENSION.
- BEAMS, LINTELS AND HEADERS WHERE NOTED TO BE STRUCTURAL COMPOSITE LUMBER (SCL) OR LAMINATED VENEER LUMBER (LVL) SHALL BE 2.0E UNLESS NOTED OTHERWISE.
- ENGINEERED ROOF TRUSSES AND JOIST SYSTEMS SHALL BE DESIGNED FOR GIVEN LOADS (INCLUDING SNOW DRIFT & WIND UPLIFT) AND SHALL BE SUPPLIED WITH ALL NECESSARY BRACING, BRACINGS, HANGERS, CONNECTORS, ACCESSORIES, ETC. SUBMIT SHOP DRAWINGS, INCLUDING LAYOUTS SEALED BY A P.E.N.G. REGISTERED IN BC THAT CLEARLY ILLUSTRATE DESIGN LOADS, MEMBER SIZES, MEMBER LOCATIONS, DIMENSIONS, CONNECTION DETAILS AND ADDITIONAL REQUIREMENTS FOR REVIEW PRIOR TO FABRICATION.

- JOIST HANGERS, WHERE REQUIRED, TO BE GALVANIZED SADDLE TYPE ONLY, NAILED AS PER THE MANUFACTURERS RECOMMENDATIONS TO PROVIDE FULL CAPACITY OF THE HANGER.
- PROVIDE A 25MM GAP BETWEEN NON-LOADBEARING PARTITION WALLS AND JOISTS, BEAMS OR TRUSSES ABOVE TO ALLOW FOR DEFLECTION.
- DO NOT SPICE BUILT UP BEAMS OR COLUMNS.
- BUILT UP BEAMS OR COLUMNS TO BE BOLTED OR NAILED TOGETHER IN ACCORDANCE WITH PART 9 OF THE BUILDING CODE.
- PROVIDE SOLID BLOCKING AT MIDSPAN BETWEEN FLOOR JOISTS AND ROOF RAFTERS WITH SPANS EXCEEDING 12' (3600MM). BLOCKING SHALL MATCH JOIST SIZE.
- INSTALL ALL FASTENERS, ANCHORS, HANGERS, HARDWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- SUBFLOOR TO BE CANADIAN SOFTWOOD PLYWOOD OR ORIENTED STRAND BOARD, TONGUE AND GROOVE, 19MM (3/4") THICKNESS. INSTALL SUBFLOORING WITH PANEL END-JOINTS LOCATED ON FLOOR JOISTS AND STAGGERED.
- FASTEN SUBFLOORING USING ALL #8 X 2 1/2" SCREWS SPACED AT 6" (150MM) ON CENTRE ALONG ALL SUPPORTED EDGES AND SPACED 12" (300MM) ON CENTRE ALONG ALL INTERMEDIATE SUPPORTS.
- ALL SUBFLOORING TO BE GLUED TO JOISTS WITH AN APPROVED ADHESIVE.
- PROVIDE 1/4" (6MM) SHRINKAGE GAP BETWEEN TOP OF WOOD JOISTS AND LVL/SCL FLUSH BEAMS.
- ROOF SHEATHING TO BE CANADIAN SOFTWOOD PLYWOOD OR ORIENTED STRAND BOARD, 16MM (5/8") THICKNESS. INSTALL SHEATHING WITH PANEL END-JOINTS LOCATED ON ROOF FRAMING STAGGERED AT LEAST 600MM (24").
- FASTEN ROOF SHEATHING USING 2.5" SPIRAL NAILS SPACED AT 6" (150MM) ON CENTRE ALONG ALL SUPPORTED EDGES AND SPACED 12" (300MM) ON CENTRE ALONG ALL INTERMEDIATE SUPPORTS.
- WALL SHEATHING TO BE CANADIAN SOFTWOOD PLYWOOD OR ORIENTED STRAND BOARD, 12MM (1/2") THICKNESS. INSTALL WALL SHEATHING HORIZONTALLY WITH PANEL END-JOINTS LOCATED ON WALL FRAMING STAGGERED AT LEAST 600MM (24").
- FASTEN WALL SHEATHING USING 2.5" SPIRAL NAILS SPACED AT 6" (150MM) ON CENTRE ALONG ALL SUPPORTED AND BACKED EDGES AND SPACED 12" (300MM) ON CENTRE ALONG ALL INTERMEDIATE SUPPORTS.
- PROVIDE BLOCKING BETWEEN JOISTS AND RAFTERS ABOVE ALL DROPPED BEAMS.

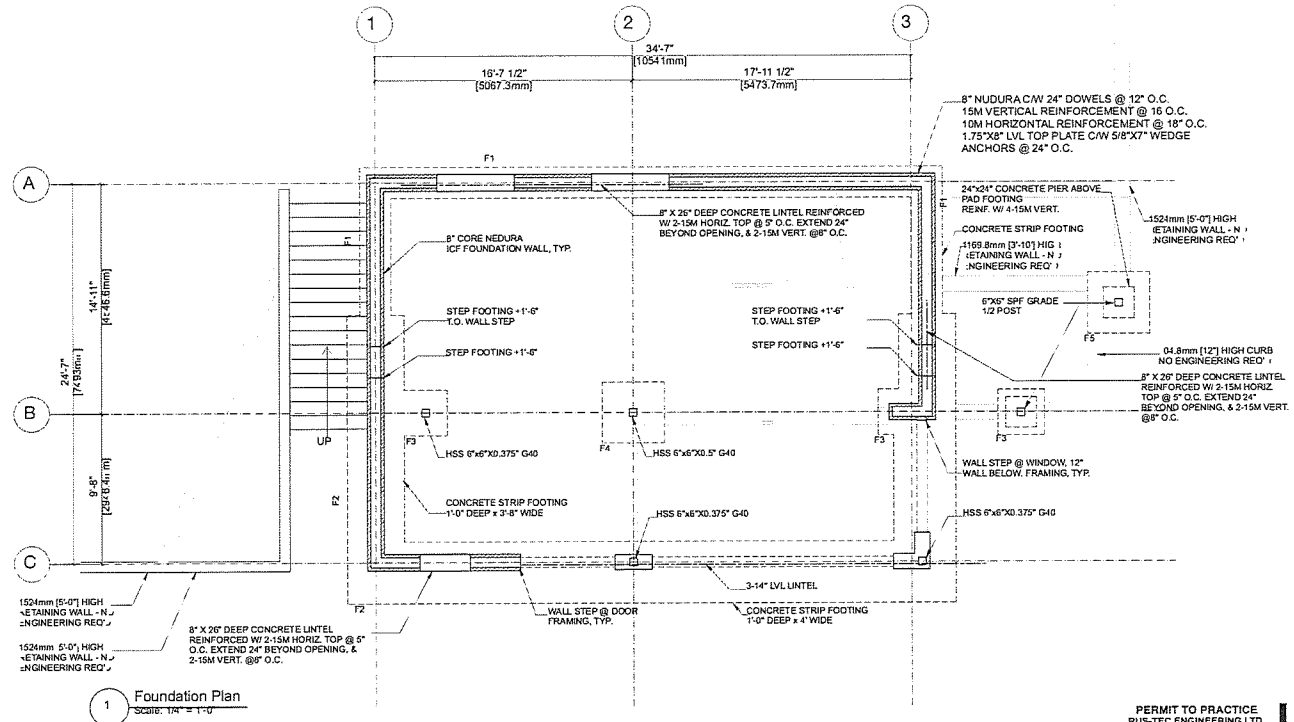
- BOLTS USED IN WOOD CONSTRUCTION SHALL BE ASTM A307 UNLESS NOTED OTHERWISE.

TIMBER SCREWS:

- ACCEPTABLE PARTIALLY THREADED (P.T.H) TIMBER SCREWS ARE AS FOLLOWS:
GRK - RSS
SPAX - T-STAR PLUS, PARTIALLY THREADED
HECO - TOPIX FLANGE HEAD
ASSY - ECO, FWH OR SK
- ACCEPTABLE FULLY THREADED (F.T.H) TIMBER SCREWS ARE AS FOLLOWS:
SPAX - T-STAR PLUS, FULLY THREADED
ASSY - VIG (CSK OR CLY)
- SUBMIT ALTERNATE SCREW MANUFACTURER AND TYPE FOR REVIEW PRIOR TO CONSTRUCTION.
- USE METRIC SCREW DIAMETER EQUIVALENTS AS FOLLOWS:
1/4" Ø = 6MM Ø
5/16" Ø = 8MM Ø
3/8" Ø = 10MM Ø
1/2" Ø = 12MM Ø
- ROUND UP TIMBER SCREW LENGTH TO THE NEAREST AVAILABLE METRIC LENGTH. EX. 1" = 25.4MM

MARK	FOOTING SCHEDULE	SIZE	REINFORCEMENT	NOTES
F1	24" W x 10" D STRIP FOOTING	2-15M CONT. BARS	TBC	
F2	48" W x 12" D STRIP FOOTING	4-15M CONT. BARS	TBC	
F3	36" x 36" x 12" D PAD FOOTING	4-15M EACH WAY	TBC	
F4	48" x 48" x 12" D PAD FOOTING	5-15M EACH WAY	TBC	
F5	48" x 48" x 12" D PAD FOOTING	5-19M EACH WAY	TBC	

MARK	CONCRETE WALL SCHEDULE	TYPE	VERT. REINF.	HORIZ. REINF.	NOTES
CW1	8" IC'F	15M @ 18" O.C.	10M @ 18" O.C.	TBC	
CW2	8" IC'F	15M @ 12" O.C.	10M @ 18" O.C.	TBC	
CW3	10" CONCRETE	15M @ 12" O.C.	15M @ 12" O.C.	TBC	



1 Foundation Plan
Scale: 1/4" = 1'-0"

PERMIT TO PRACTICE
RUS-TEC ENGINEERING LTD.
REGISTERED PROFESSIONAL ENGINEER
REG. NO. 54526
DATE: 2025-10-24
PERMIT NUMBER: 1000779
ENGINEER & DESIGNER
BRITISH COLUMBIA

3156 Renovation
BUILDING PERMIT SUBMISSION
Scott W. J. J.

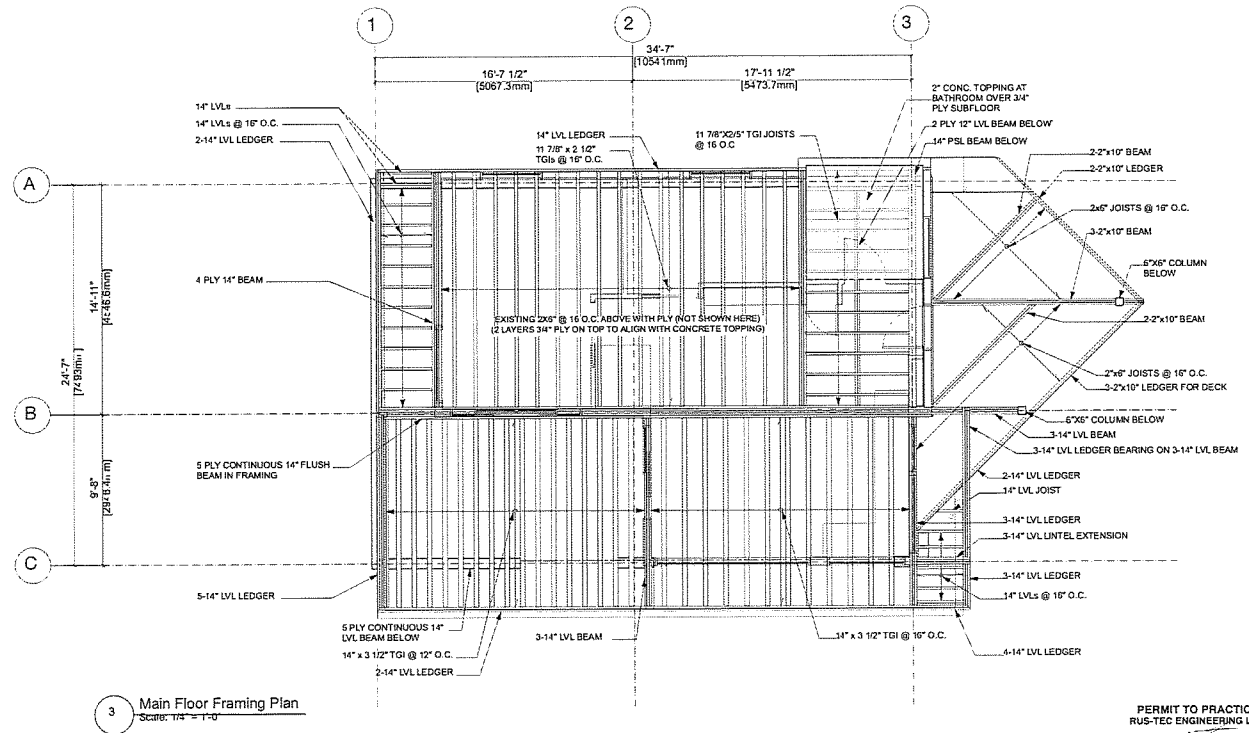


Structural Plan -
Basement

S1

STRUCTURAL NOTES:

1. ALL LVL TO BE 2.0E OR BETTER WITH PLY THICKNESS OF 1.75"



PERMIT TO PRACTICE
 RUS-TEC ENGINEERING LTD.
 REG. NO. 1000779
 REV. NO. 04526
 DATE: 2025-10-24
 PERMIT NUMBER: 1000779
 ENGINEERS & GEOSCIENTISTS
 BRITISH COLUMBIA

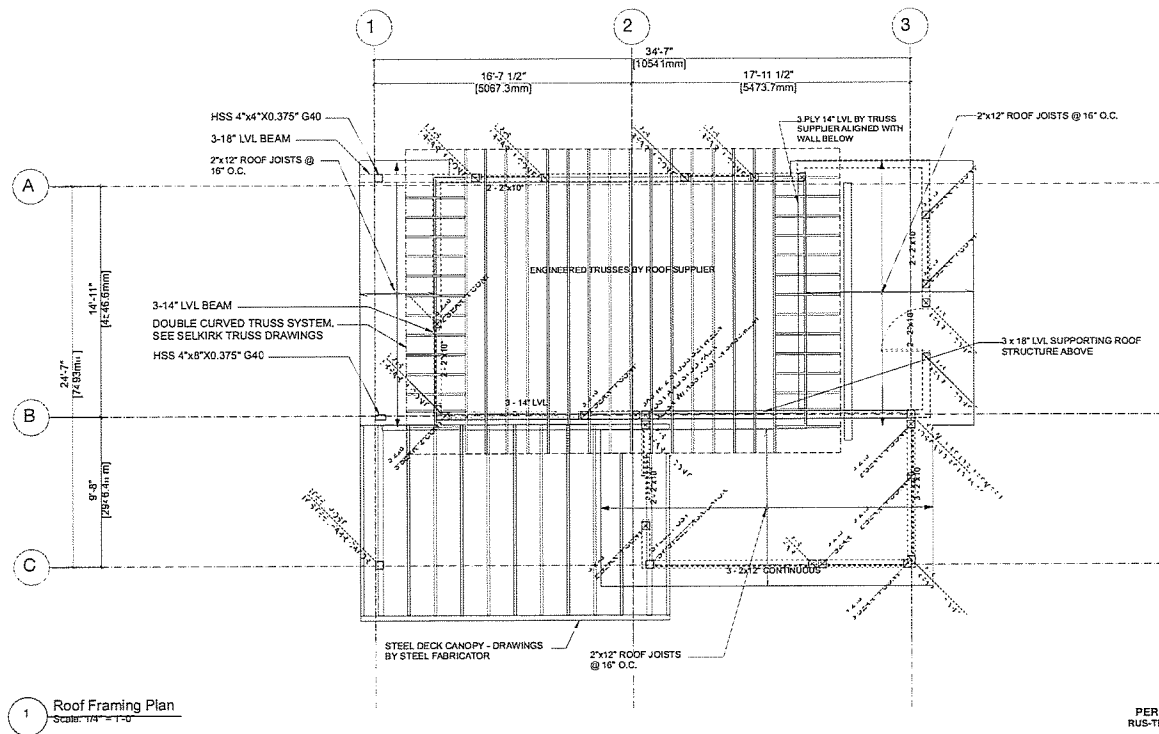
3156 Renovation
 BUILDING PERMIT SUBMISSION
 Scott Wai, Inc.



Structural Plan -
 Main Floor

STRUCTURAL NOTES:

1. ALL LVL TO BE 2.0E OR BETTER WITH PLY THICKNESS OF 1.75"



1 Roof Framing Plan
Scale: 1/4" = 1'-0"

PERMIT TO PRACTICE
RUS-TEC ENGINEERING LTD.
REGISTRATION NO. 64526
DATE: 2025-10-24
PERMIT NUMBER: 1000779
ENGINEERS & ARCHITECTS
BRITISH COLUMBIA

3156 Renovation
BUILDING PERMIT SUBMISSION
Scott.Wei.jit



Structural Plan -
Roof

DIVISION 11 COUNTRY RESIDENTIAL (R2)

Permitted Uses

1100 Land, buildings and structures in the Country Residential (R2) zone shall be used for the following purposes only:

Dwellings:

- Single Detached Housing
- Duplex Housing

Accessory Uses:

- Accessory Buildings and Structures
- Accessory Dwelling Unit
- Accessory Tourist Accommodation
- Home Based Business
- Horticulture
- Keeping of Farm Animals
- Sale of Site Grown Farm Products
- Portable Sawmills for processing of material harvested on site only

Development Regulations

1101

- 1 The minimum lot size is 1.0 hectare.
- 2 The minimum lot size for a parcel subdivided for a relative under Section 514 of the *Local Government Act*, with the approval of the Interior Health Authority shall be 0.8 hectare.
- 3 The maximum site coverage permitted shall be 50 percent of the lot area.
- 4 The keeping of farm animals shall comply with the requirements of section 613.
- 5 The maximum density is 2 Dwelling Units.
- 6 Buildings and structures in the case of a lot that may be further subdivided shall be sited so as to facilitate further subdivision of the lot or adjacent lots.
- 7 Portable Sawmills shall be located a minimum of 30 metres from any property line.
- 8 *Deleted by Bylaw 2757.*
- 9 The maximum height of any accessory building or structure shall not exceed 8 metres.
- 10 The maximum gross floor area of any accessory building or structure shall not exceed 200 square metres.
- 11 The cumulative gross floor area of all accessory buildings or structures shall not exceed 400 square metres.

Site Specific - Lot 13 District Lot 6300 Kootenay District Plan NEP21755 (PID 019-022-069) from Country Residential (R2) to Country Residential (R2) 'site specific' to enable a second dwelling to be constructed up to a maximum height of 6.5 meters, with a minimum 6.5 meter setback from a front lot line of and a minimum 5 meter setback from an interior side lot line.

Site Specific - LOT A DISTRICT LOT 5574 KOOTENAY DISTRICT PLAN NEP69101 (PID 025-049-780) from Country Residential (R2) to Country Residential (R2) Site-Specific to add "Horse Riding Area" as a permitted accessory use and further that despite section 1101(10) that the maximum gross floor area of any accessory building or structure shall not exceed 200 square metres, except for the Horse Riding Area which may be 1525m² and further that despite section 1101(11) the cumulative gross floor area of all accessory buildings or structures shall not exceed 1925m² square metres on this lot only

- 4 Despite Section 603(3), where a dwelling has been constructed across a legal property line prior to the adoption of this bylaw, lot lines may be adjusted so as to allow property owners to legitimize the structure as long as no lot is reduced in lot size.
- 5 A reduction of the minimum lot size for a single lot for subdivision within any Agricultural zone shall be permitted subject to:
 - a. the lot being no smaller than 0.4 hectares in area;
 - b. where the lot is serviced by a community water system; and
 - c. where the remainder of the lot is consolidated with an adjacent property that has an agricultural tax assessment from the British Columbia Assessment Authority or is within the ALR or created under Section 514 of the *Local Government Act*.

Subdivision Servicing Requirements

604

- 1 All subdivisions shall comply with the provisions of the *Local Services Act* and the Subdivision Regulations thereto.
- 2 All subdivisions shall be in full compliance with any Regional District of Central Kootenay Subdivision Bylaw currently in effect for the area.
- 3 All subdivisions shall comply with the *Drinking Water Protection Act*, the *Public Health Act* and the *Environmental Management Act*.

Setback Requirements

605

- 1 Unless otherwise stated, no principal or accessory building or structure except a fence may be located within 7.5 metres of a front or exterior side lot line or within 2.5 metres of any other lot line.
- 2 Despite Section 605(1), buildings and structures shall be setback a minimum of fifteen (15) metres from lot lines adjacent to the Agricultural Land Reserve boundary.
- 3 Unless otherwise stated no portable sawmill may be located within 100 metres from a property line.
- 4 Despite Section 605(1), on all lots having a residential zone and are less than 0.2 hectares in area, the minimum setback to front or exterior lot lines shall be 4.5 metres.
- 5 Despite Section 605(1), for all of Electoral Area F, unless otherwise stated in the zone, no principal or accessory building or structure except a fence may be located

within 4.5 metres of a front or exterior side lot line or within 2.5 metres of any other lot line.

Note: BC Building Code regulations may require greater setbacks than those identified in Section 605 and Section 606 of this bylaw.

Setback Exceptions

606

- 1 Where the top surface of an underground structure projects no more than 0.6 metre above the average finished ground elevation, that structure may be sited in any portion of a lot.
- 2 Freestanding lighting poles, warning devices, antennae, masts, solar collectors, utility poles, wires, and flagpoles up to ten (10) metres in height may be sited on any portion of a lot.
- 3 Where chimneys, cornices, leaders, gutters, pilasters, belt courses, sills, bay windows, or ornamental features project beyond the face of the building, the minimum distance to an abutting lot line as permitted elsewhere in this bylaw may be reduced by not more than 0.6 metre providing such reduction shall apply only to the projecting feature.
- 4 Where steps, eaves, sunlight control projections, canopies, balconies, or porches project beyond the face of a building, the minimum distance to an abutting front lot line as permitted elsewhere in this bylaw may be reduced by not more than 1.2 metres and the minimum distance to an abutting site lot line or rear lot line as permitted elsewhere in this bylaw may be reduced by not more than 0.6 metre provided such reduction shall apply only to the projecting feature.

Home Based Businesses

607 A Home Based Business, where permitted, is subject to the requirements that:

- 1 The proprietor resides on the subject property;
- 2 The activity shall be conducted in a dwelling unit or accessory building;
- 3 The site area devoted to the Home Based Business, inclusive of external storage of materials, equipment or finished products, shall not exceed 100 square metres on any R1, R2, R3, R6, R7, MFR-F, HR-I, C5 and AG zoned lot;
- 4 The site area devoted to the Home Based Business, inclusive of external storage of materials, equipment or finished products, shall not exceed 200 square metres on any R4 zoned lot;