



Development Variance Permit Application

Referral Form – RDCK File V2604F

Date: March 09, 2026

You are requested to comment on the attached DEVELOPMENT VARIANCE PERMIT for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO APRIL 09, 2026). If no response is received within that time, it will be assumed that your agency's interests are unaffected.

LEGAL DESCRIPTION & GENERAL LOCATION:

4012 Fumot Place, Bonnington, Electoral Area 'F'
 STRATA LOT 6 DISTRICT LOT 7071 KOOTENAY DISTRICT STRATA PLAN EPS2257 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V 030-279-119

PRESENT USE AND PURPOSE OF PERMIT REQUESTED:

The property is presently being used for residential purposes and has been improved with a single detached dwelling and secondary suite.

This Development Variance Permit seeks to vary Section 605.5 of RDCK Zoning Bylaw No. 1675, 2004 to reduce the required front setback from 4.5 metres to 1.5 metres.

The owners are seeking this variance to build an accessory building in this location due to the sloping topography of the lot as outlined in the applicant's proposal summary included in this referral package.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
1.06 ha	n/a	Country Residential (R2) in RDCK Zoning Bylaw No. 1675, 2004	Country Residential (CR) in Electoral Area 'F' Official Community Plan Bylaw No. 2214, 2011

APPLICANT: Mark and Robert Wasylshyn

Please provide your response via email.

If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.

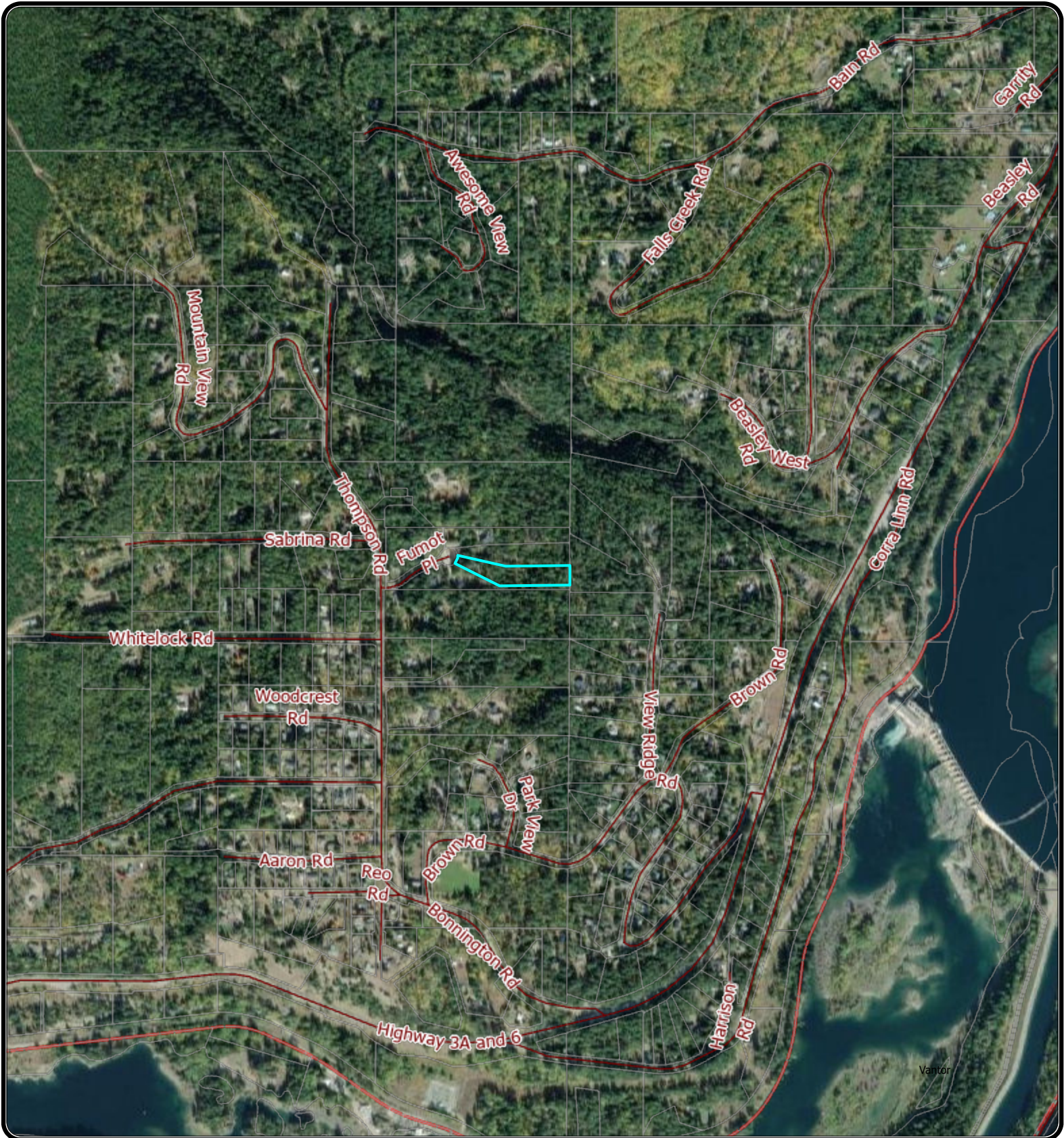
If you are an RDCK commission member, do not respond via email. Your response is the commission's recommendation which staff will collect from the meeting minutes.

<input checked="" type="checkbox"/> MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE <input checked="" type="checkbox"/> HABITAT BRANCH (Environment) <input checked="" type="checkbox"/> FRONTCOUNTER BC (MFLNRD) <input type="checkbox"/> AGRICULTURAL LAND COMMISSION <input type="checkbox"/> REGIONAL AGROLOGIST <input type="checkbox"/> ENERGY & MINES <input type="checkbox"/> MUNICIPAL AFFAIRS & HOUSING <input checked="" type="checkbox"/> INTERIOR HEALTH, HBE TEAM <input type="checkbox"/> SCHOOL DISTRICT NO. <input checked="" type="checkbox"/> WATER SYSTEM OR IRRIGATION DISTRICT	REGIONAL DISTRICT OF CENTRAL KOOTENAY DIRECTORS FOR: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input checked="" type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K ALTERNATIVE DIRECTORS FOR: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K <input type="checkbox"/> APHC AREA <input checked="" type="checkbox"/> RDCK FIRE SERVICES <input checked="" type="checkbox"/> RDCK EMERGENCY SERVICES <input checked="" type="checkbox"/> RDCK BUILDING SERVICES <input type="checkbox"/> RDCK UTILITY SERVICES <input type="checkbox"/> RDCK RESOURCE RECOVERY
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<input checked="" type="checkbox"/> UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)	<input type="checkbox"/> RDCK REGIONAL PARKS
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The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), info@rdck.bc.ca, or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY
 Box 590, 202 Lakeside Drive,
 Nelson, BC V1L 5R4
 Phone: 1-800-268-7325 www.rdck.bc.ca
 maps@rdck.bc.ca

Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines

Map Scale:

1:18,056

Date: March 2, 2026







The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

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Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

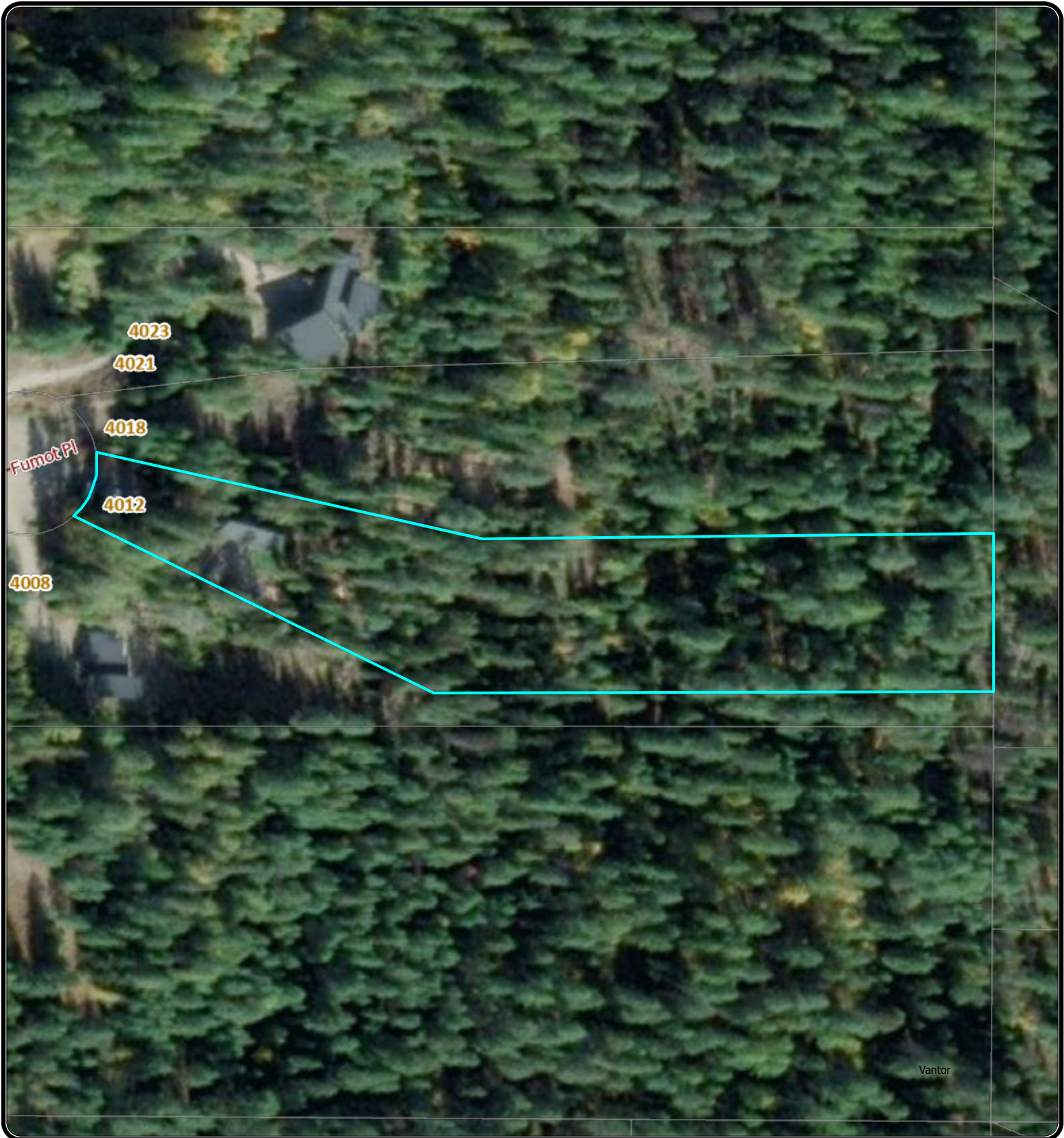
1:4,514

Date: March 2, 2026







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Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

1:2,257

Date: March 2, 2026









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RDCK Map



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maps@rdck.bc.ca

Legend

-  Electoral Areas
 -  RDCK Streets
 -  Cadastre - Property Lines
 -  Address Points
-  Country Residential
-  Rural Residential

Map Scale:

1:4,514

Date: March 2, 2026



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Zoning Class

- Residential 2
- Residential 3
- Electoral Areas

Legend

- RDCK Streets
- Cadastre - Property Lines
- Address Points

Map Scale:

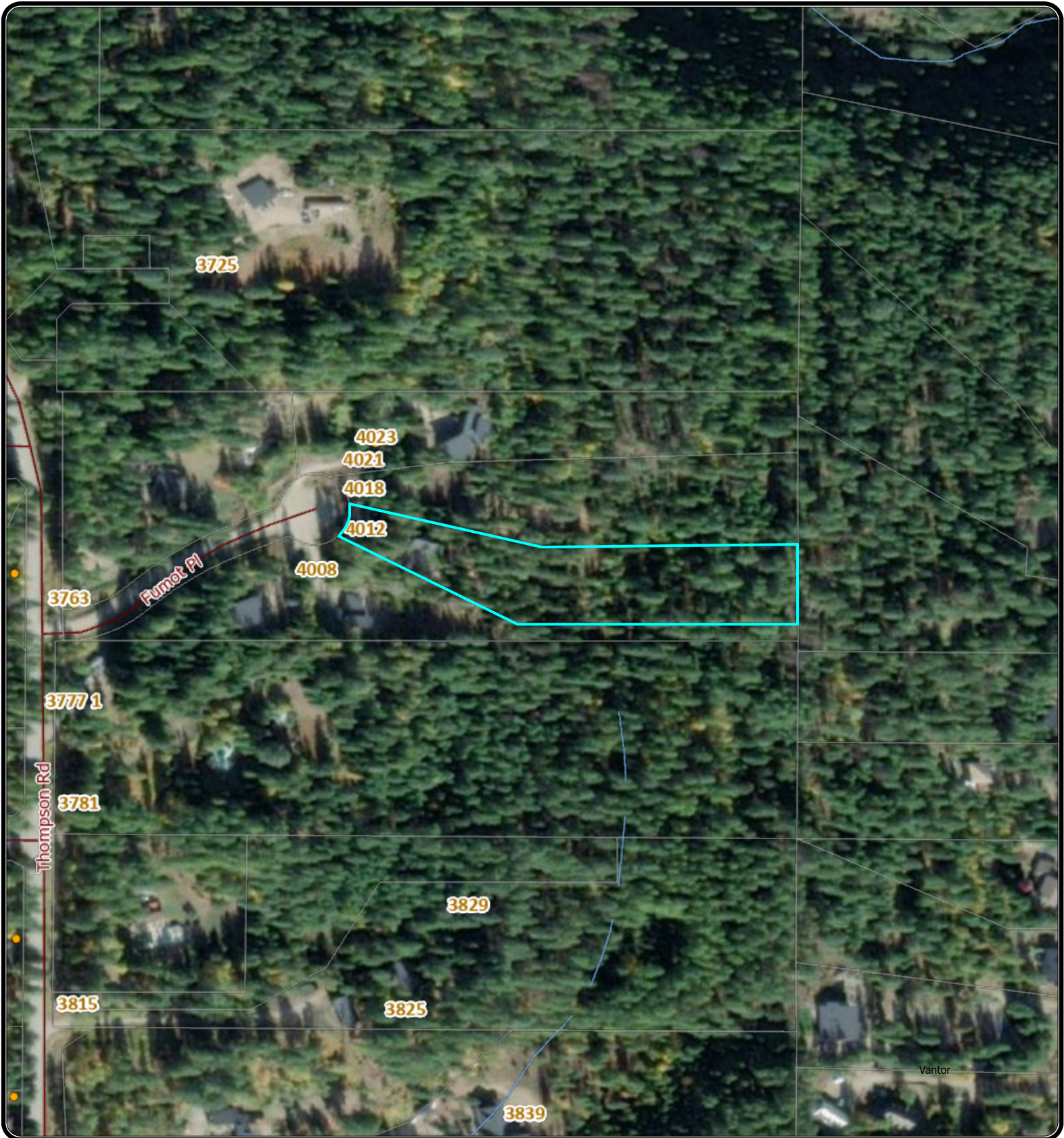
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RDCK Map



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Legend

-  Streams and Shorelines
-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

Map Scale:

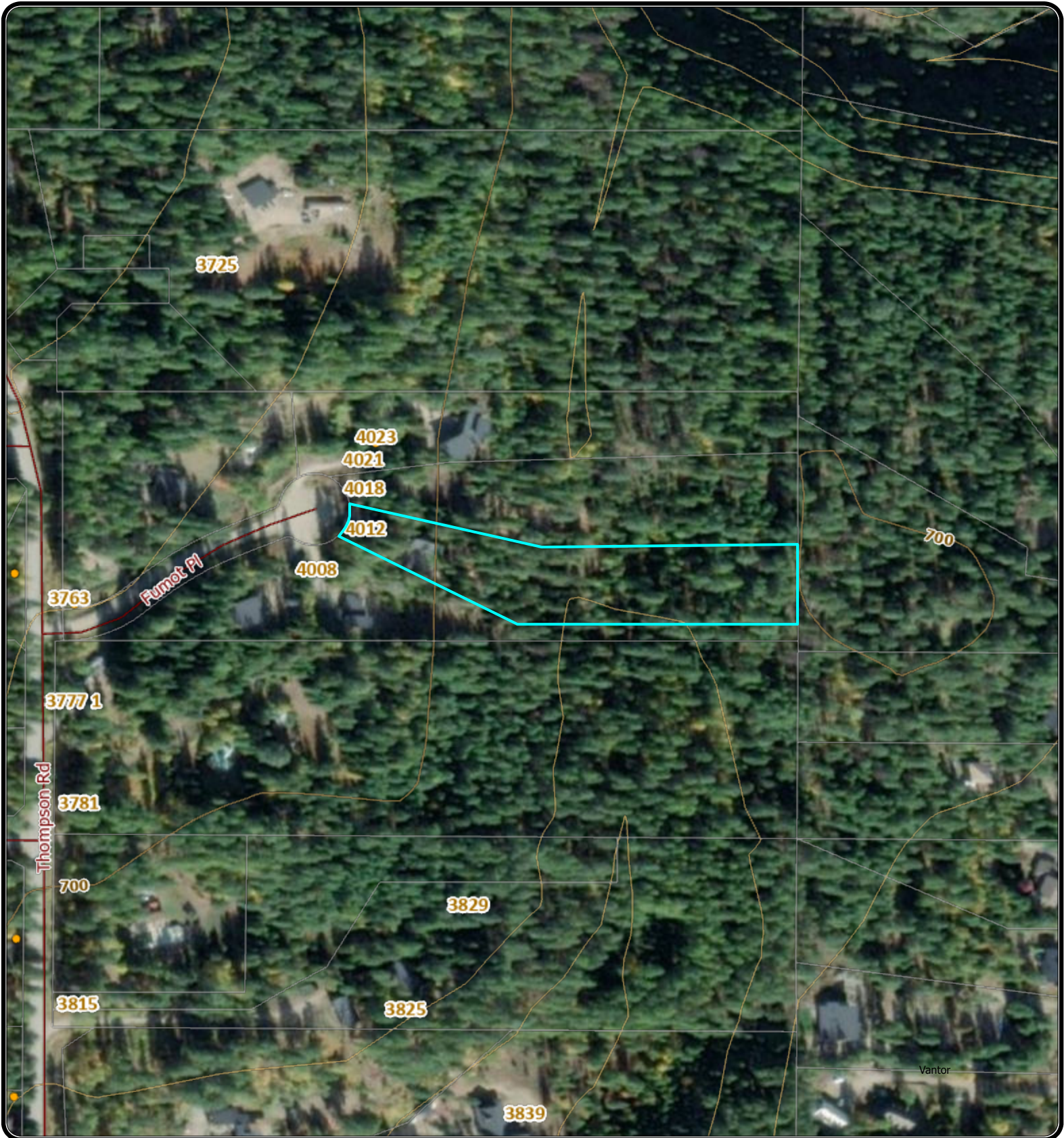
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RDCK Map



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Legend

- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
- Address Points

20 Meter Contours

- 20 meter
- 100 meter

Map Scale:

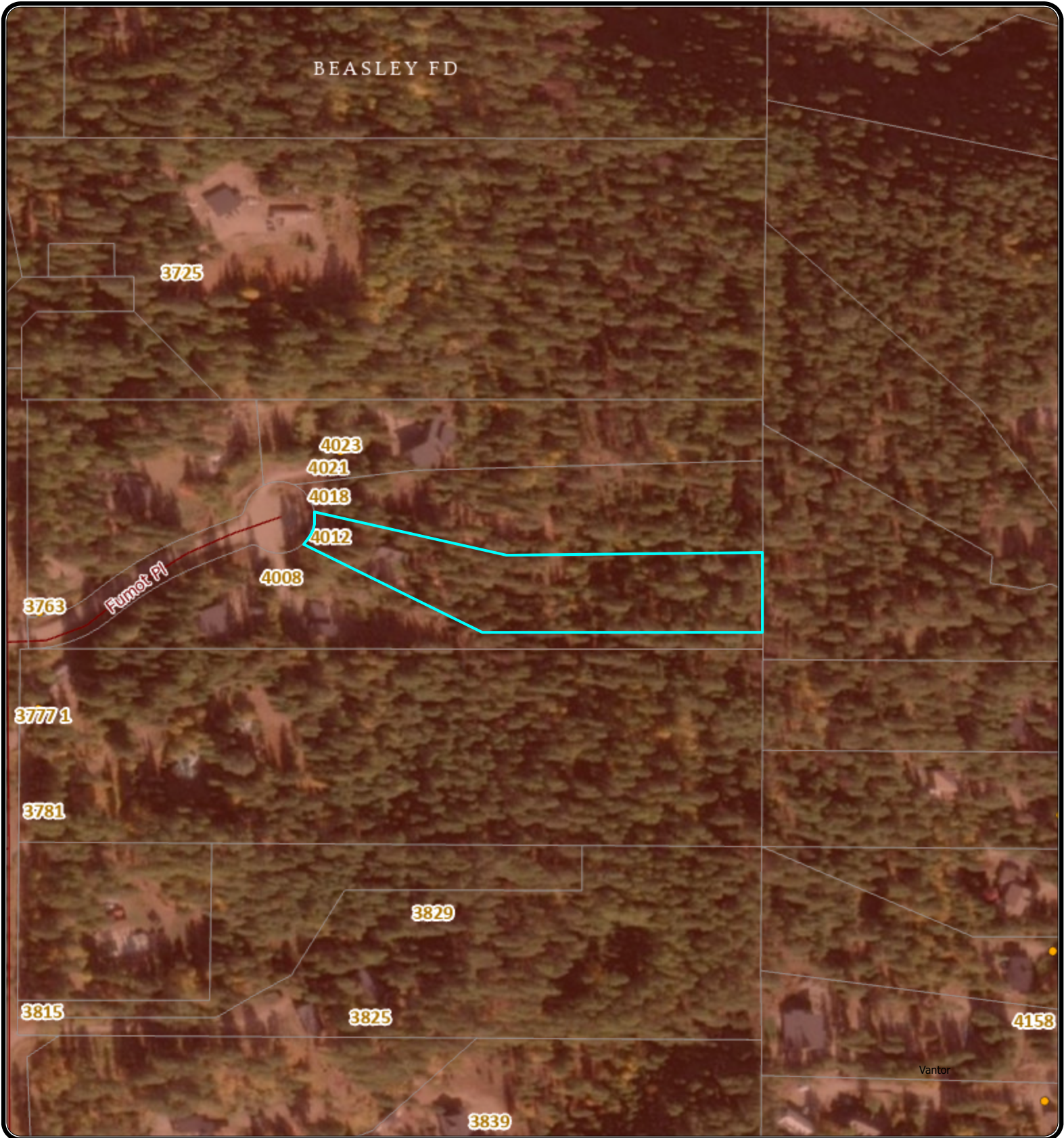
1:4,514

Date: March 2, 2026



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RDCK Map



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Legend

- RDCK Streets
- Cadastre - Property Lines
- Address Points
- BEASLEY
- ▭ Electoral Areas

Fire Service Areas

Map Scale:

1:4,514

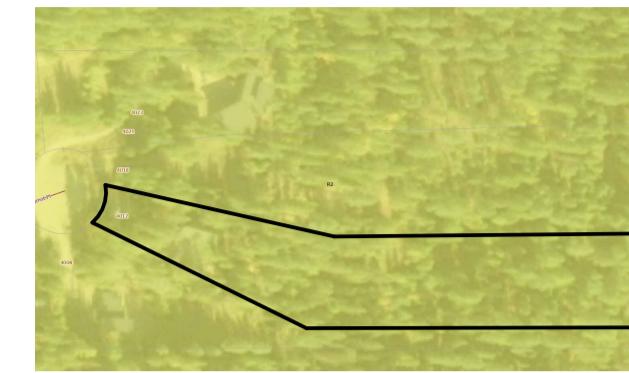
Date: March 2, 2026



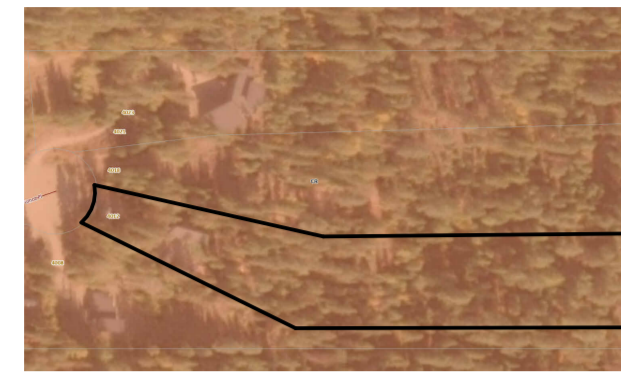
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PROPERTY SUMMARY

ITEM	DESCRIPTION
CIVIC ADDRESS	4012 FUMOT PLACE, CENTRAL KOOTENAY, BC V0G 2G3
LEGAL ADDRESS	STRATA LOT 6, PLAN EPS2257, DISTRICT LOT 7071, KOOTENAY LAND DISTRICT
P.I.D.	030-279-119
ROLL	21-707-08195.076
ELECTORAL AREA	F
A.H.J.	RDCK
BYLAW REFERENCED	REGIONAL DISTRICT OF CENTRAL KOOTENAY ZONING BYLAW NO. 1675, 2004



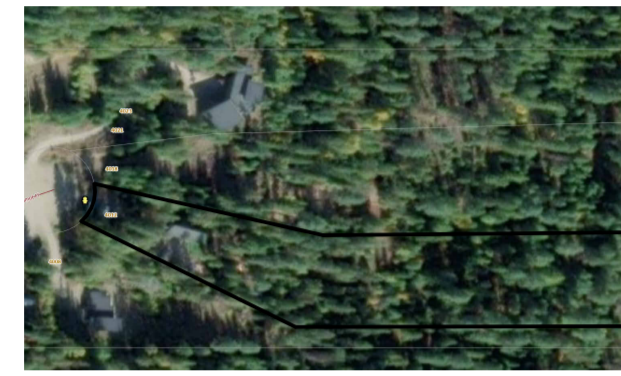
ZONING
R2 COUNTRY RESIDENTIAL



OFFICIAL COMMUNITY PLAN
CR COUNTRY RESIDENTIAL



FIRE SERVICE
BEASLY FIRE DEPARTMENT



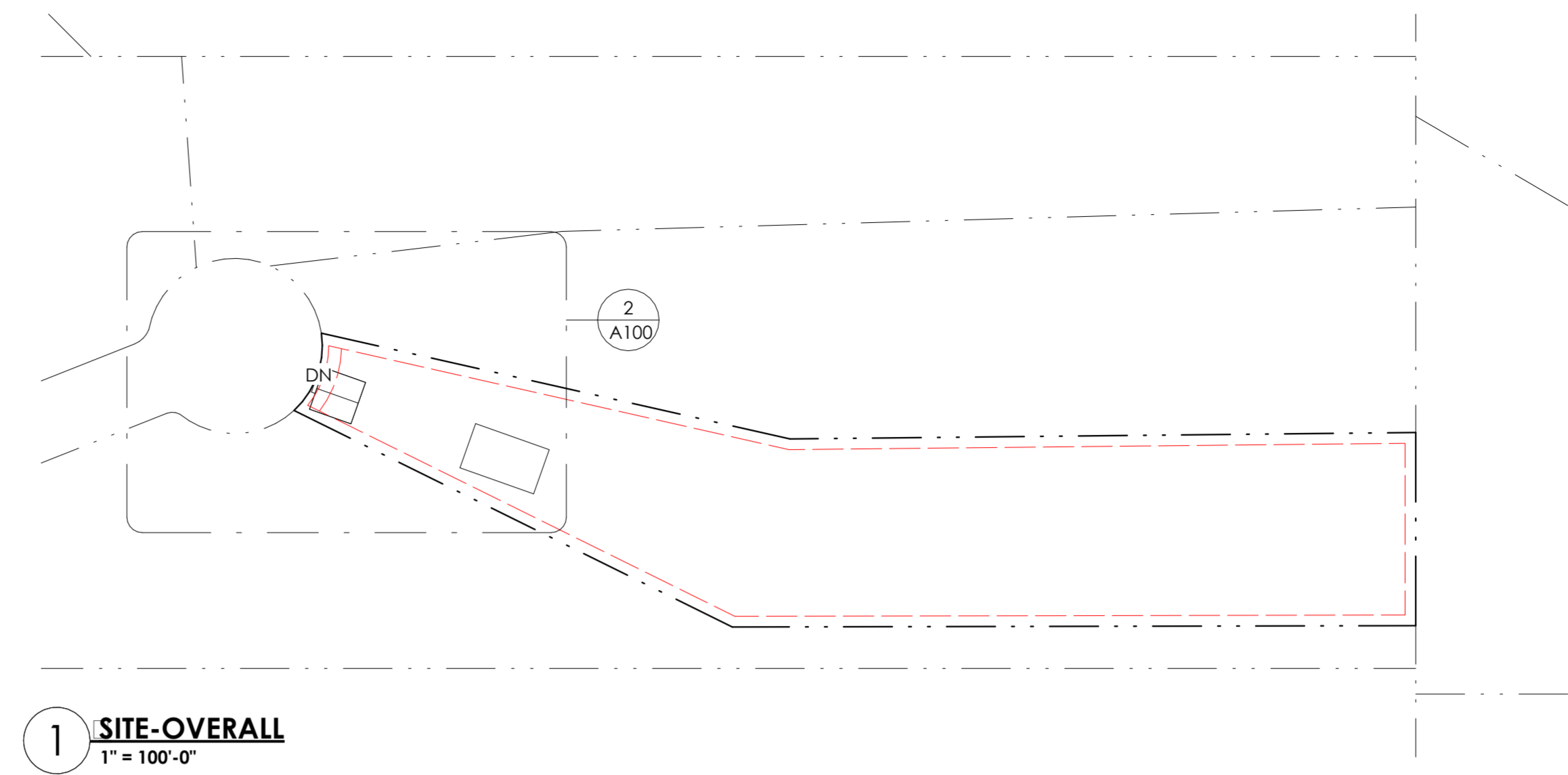
WATER SERVICES
HYDRANT

ZONING BYLAW SUMMARY

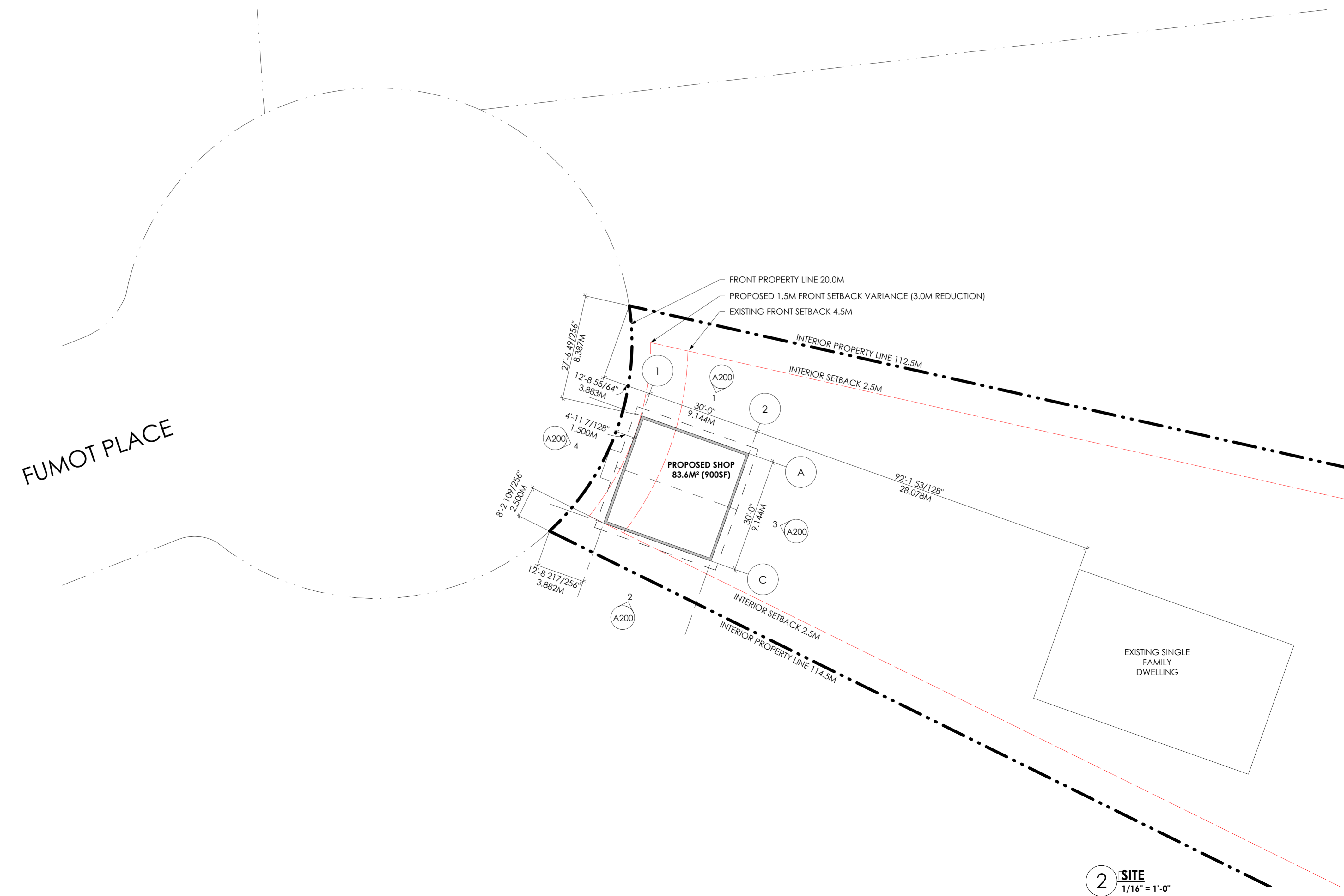
ITEM	PERMITTED	PROPOSED
1. PRINCIPAL USE	1. SINGLE DETACHED DWELLING, DUPLEX DWELLING	1. N.A.
2. ACCESSORY USE	2. ACCESSORY BUILDINGS AND STRUCTURES, ACCESSORY DWELLING UNIT, ACCESSORY TOURIST ACCOMMODATION, HOME BASED BUSINESS, HORTICULTURE, KEEPING OF FARM ANIMALS, SALE OF SITE GROWN FARM PRODUCTS, PORTABLE SAWMILLS	2. *ACCESSORY BUILDING
3. PARCEL AREA (M ²)	3. 10000.0	3. 10472.0
4. SITE COVERAGE (%)	4. 50.0	4. 0.8
5. DENSITY (EA)	5. 2 DWELLING UNITS	5. 1 ACCESSORY BUILDING
6. ACCESSORY HEIGHT (M)	6. 8.0	6. 6.9
7. SINGLE ACCESSORY G.F.A. (M ²)	7. 200.0	7. 83.6
8. TOTAL ACCESSORY G.F.A. (M ²)	8. 400.0	8. 83.6
9. FRONT SETBACK (M)	9. 4.5	9. 1.5 (PROPOSED VARIANCE)
10. INTERIOR SETBACK (M)	10. 2.5	10. 2.5
11. EXTERIOR SETBACK (M)	11. 4.5	11. N.A.
12. REAR SETBACK (M)	12. 2.5	12. 246.0
13. PROJECTION REDUCTION (M)	13. *-1.2	13. -0.6

*WHERE STEPS, EAVES, SUNLIGHT CONTROL PROJECTIONS, CANOPIES, BALCONIES, OR PORCHES PROJECT BEYOND THE FACE OF A BUILDING, THE MINIMUM DISTANCE TO AN ABUTTING FRONT LOT LINE AS PERMITTED ELSEWHERE IN THIS BYLAW MAY BE REDUCED BY NOT MORE THAN 1.2 METRES AND THE MINIMUM DISTANCE TO AN ABUTTING SITE LOT LINE OR REAR LOT LINE AS PERMITTED ELSEWHERE IN THIS BYLAW MAY BE REDUCED BY NOT MORE THAN 0.6 METRE PROVIDED SUCH REDUCTION SHALL APPLY ONLY TO THE PROJECTING FEATURE.

*ACCESSORY BUILDING OR STRUCTURE MEANS A DETACHED BUILDING OR STRUCTURE LOCATED ON THE SAME PARCEL AS THE PRINCIPAL BUILDING, THE USE OF WHICH IS SUBORDINATE, CUSTOMARILY INCIDENTAL, AND EXCLUSIVELY DEVOTED TO THAT OF THE PRINCIPAL BUILDING. ACCESSORY BUILDINGS OR STRUCTURES MAY NOT CONTAIN A DWELLING UNIT. ACCESSORY MEANS A USE OR STRUCTURE NATURALLY AND NORMALLY INCIDENTAL, SUBORDINATE AND DEVOTED TO THE PRINCIPAL USE OR STRUCTURE AND LOCATED ON THE SAME LOT OR SITE.



1 SITE-OVERALL
1" = 100'-0"



2 SITE
1/16" = 1'-0"



SHEET NOTES

SITE **PLANS**

RELEASE

DATE
2026-02-28

ISSUE
ISSUED FOR BUILDING PERMIT

PROJECT
4012 FUMOT PLACE SHOP

ADDRESS
4012 FUMOT PLACE
CENTRAL KOOTENAY, BC
VOG 2G3

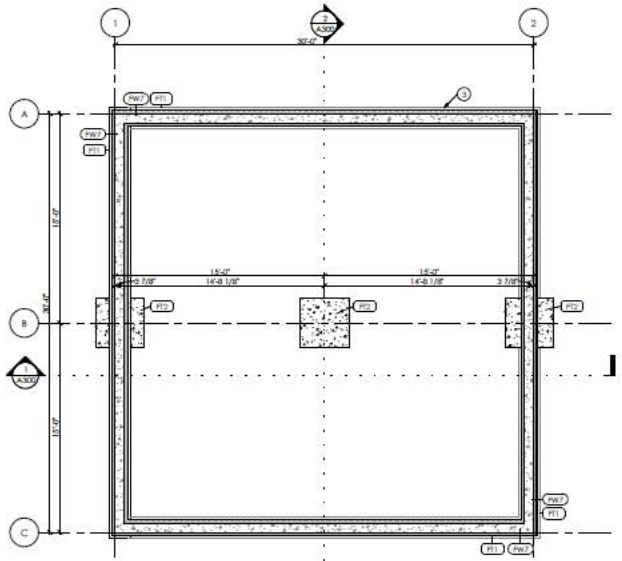
SHEET NAME
SITE

SHEET NUMBER
A100

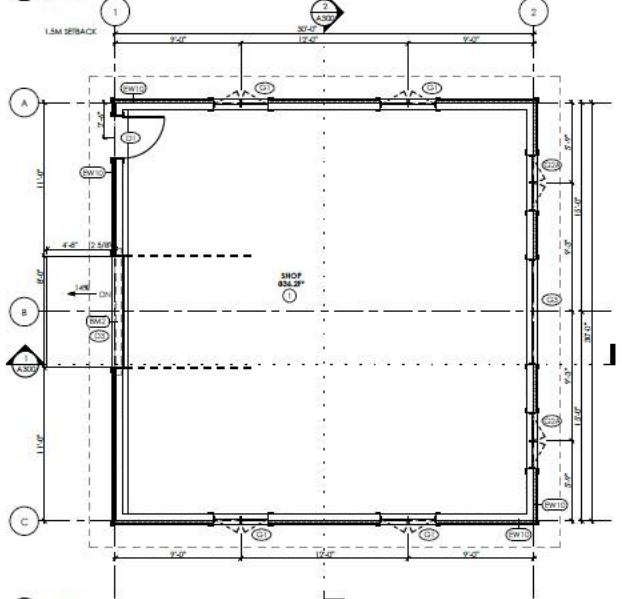
4012 FUMOT PLACE SHOP

ISSUED FOR BUILDING PERMIT
2024-02-28

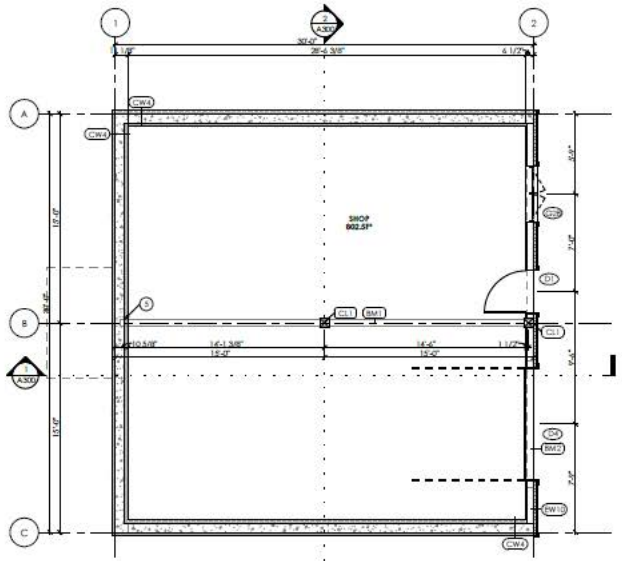




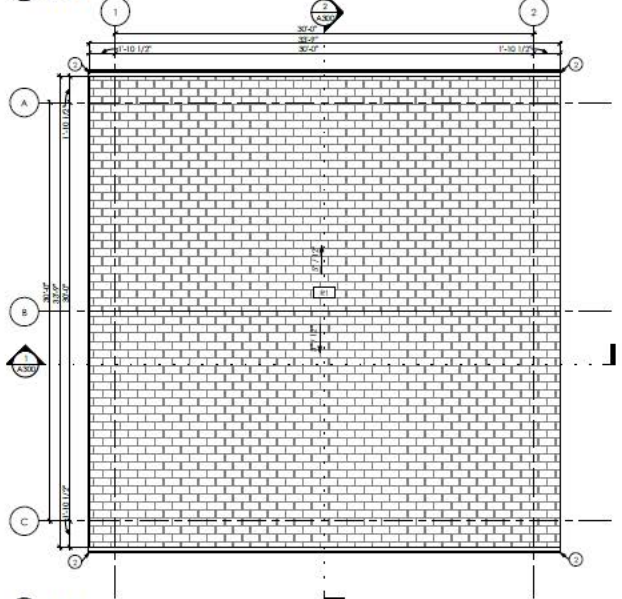
1 FOUNDATION
1/4" = 1'-0"



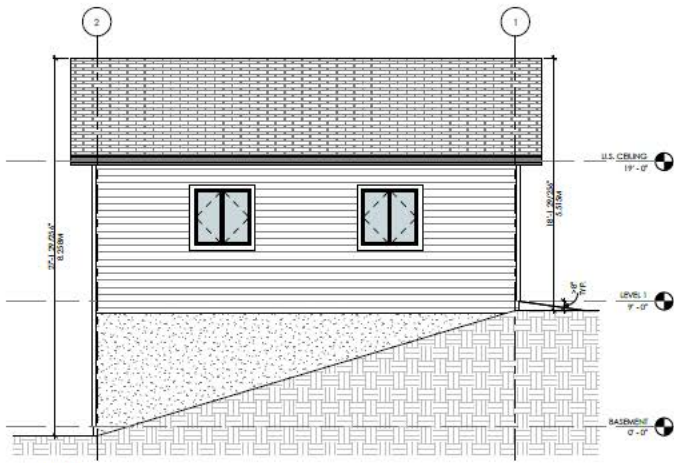
3 LEVEL 1
1/4" = 1'-0"



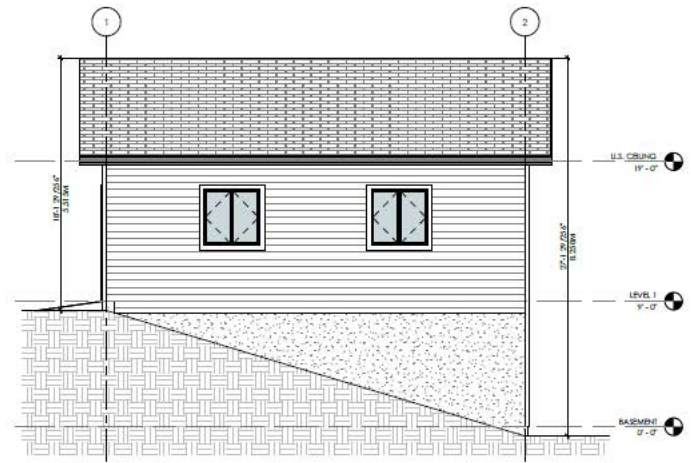
2 BASEMENT
1/4" = 1'-0"



4 ROOF
1/4" = 1'-0"



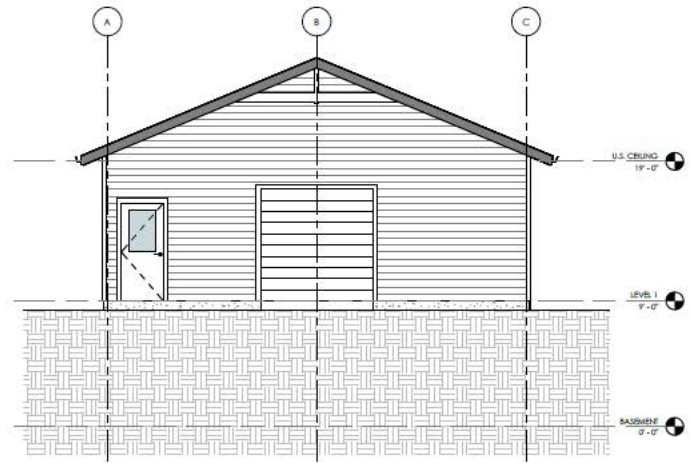
1 NORTH
1/4" = 1'-0"



2 SOUTH
1/4" = 1'-0"



3 EAST
1/4" = 1'-0"



4 WEST
1/4" = 1'-0"

This Proposal Summary was created to support an application for a Development Variance Permit to alter the required minimum front yard setback from 4.5 metres to 1.5 metres for the construction of a 30-foot by 30-foot, two-level accessory shop building.

We are seeking a variance for the bylaw condition for Setback Requirements, Item 5:

“Despite Section 605(1), for all of Electoral Area F, unless otherwise stated in the zone, no principal or accessory building or structure except a fence may be located within 4.5 metres of a front or exterior side lot line or within 2.5 metres of any other lot line.”

The property is characterized by a significant downward slope beginning at the front property line and falling toward the rear of the parcel. Due to this terrain, locating the proposed structure further back on the lot would require substantial excavation, additional foundation height, and engineered retaining structures. This would significantly increase construction complexity, cost, and overall site disturbance.

Positioning the shop at a 1.5-metre front setback allows it to be located on the most practical and stable portion of the property near the upper elevation of the lot. This approach minimizes:

- Major excavation and alteration of the natural slope
- The need for retaining walls or engineered structural solutions
- Soil disturbance and potential drainage impacts
- Overall construction footprint and cost

The road frontage is a privately maintained rural strata road and is not under the jurisdiction of the Ministry of Transportation and Infrastructure. Written approval has been obtained from the strata members and the individual responsible for road maintenance (Attachment X). The proposed setback will not interfere with road safety, access, sight lines, or snow storage.

The shop is considered an accessory building and is intended for personal use only. The development remains consistent with the rural character of the area and complies with all other zoning requirements.

The requested variance represents the minimum necessary to allow reasonable and practical use of the property while respecting its topography. The intent of the zoning bylaw is maintained, and the variance does not alter permitted land use.