



**REGIONAL DISTRICT OF CENTRAL KOOTENAY**

**AREA D ADVISORY PLANNING AND HERITAGE  
COMMISSION  
OPEN MEETING AGENDA**

**7:00 PM**

**Tuesday, May 19, 2026**

**Remote Meeting**

To promote openness, transparency and provide accessibility to the public we provide the ability to attend all RDCK meetings in-person or remote.

**Join by Video:**

<https://rdck-bc-ca.zoom.us/j/93670305357?pwd=4JWaKOzxcGCK6EoLRj9bl6CbdAxk2.1>

**Join by Phone:**

855 703 8985 Canada Toll-free

**Meeting Number (access code):** 936 7030 5357

**Meeting Password:** 076449

**1. CALL TO ORDER**

Chair \_\_\_\_\_ called the meeting to order at \_\_\_\_\_ p.m

**2. TRADITIONAL LANDS ACKNOWLEDGEMENT STATEMENT**

We acknowledge and respect the Indigenous peoples within whose traditional lands we are meeting today.

**3. ADOPTION OF AGENDA**

**MOVED** and seconded,  
AND Resolved:

The Agenda for the May 19, 2026 Electoral Area D Advisory Planning and Heritage Commission meeting, be adopted as circulated.

**Carried/Defeated/Referred**

**4. RECEIPT OF MINUTES**

The April 21, 2026 Electoral Area D Advisory Planning and Heritage Commission minutes, have been received.

## 5. STAFF REPORTS

### 5.1 FOR INFORMATION: CROWN LAND TENURE APPLICATION – Kaslo Infonet Society

The Crown Land Referral Package from Planning Technician Laura Christie for File No. R2619D.

### 5.2 FOR INFORMATION: CROWN LAND TENURE APPLICATION – Kaslo Infonet Society

The Crown Land Referral Package from Planning Technician Laura Christie for File No. R2621D.

### 5.3 DEVELOPMENT PERMIT APPLICATION (DP2604) – Hamill Creek Timber Homes

The Development Permit Application Form dated from Zachari Giacomazzo , Planner, has been received.

Move and seconded  
AND Resolved

That the Area D Advisory Planning and Heritage Commission **SUPPORT/NOT SUPPORT** the Development Permit Application to Hamill Creek Timber Homes c/o Dwight Smith for the property located at 1339 Hamill Lane, Johnson’s Landing, BC, Strata Lot 8 DISTRICT LOT 7827 Kootenay District Strata Plan.

**Carried/Defeated/Referred**

### 5.4 BYLAW AMENDMENT REFERRAL FORM – RDCK Planning Department

The Zoning Bylaw Amendment Application dated May 4, 2026, from Sadie Chezenko, Planner 1, was received.

**Moved** and seconded,  
AND Resolved:

That the Area D Advisory Planning and Heritage Commission **SUPPORT/NOT SUPPORT** the Amendment Bylaw No. 3052.

**Carried/Defeated/Referred**

## 6. PUBLIC TIME

The Chair will call for questions from the public at \_\_\_\_ p.m.

## 7. NEXT MEETING

The next Electoral Area D Advisory Planning and Heritage Commission Meeting is scheduled for June 16, 2026 at 7:00 p.m.

**ADJOURNMENT**

**MOVED** and seconded,  
AND Resolved:

The Electoral Area D Advisory Planning and Heritage Commission meeting be adjourned at \_\_\_ p.m.



REGIONAL DISTRICT OF CENTRAL KOOTENAY

# AREA D ADVISORY PLANNING AND HERITAGE COMMISSION OPEN MEETING MINUTES

7:00 PM

Tuesday, April 21, 2026

Remote Meeting

To promote openness, transparency and provide accessibility to the public we provide the ability to attend all RDCK meetings in-person or remote.

**Join by Video:**

<https://rdck-bc-ca.zoom.us/j/93670305357?pwd=4JWaKOzxcGCK6EoLRj9bl6CbdAxk2.1>

**Join by Phone:**

855 703 8985 Canada Toll-free

**Meeting Number (access code):** 936 7030 5357

**Meeting Password:** 076449

## COMMISSION MEMBERS PRESENT

Commissioner Member B. Wells	Chair, Area D
Commissioner Member S. Sinclair	Area D

## COMMISSION MEMBERS ABSENT

Commissioner Member F. Bonner	Area D
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## STAFF

Planner D. Hawkins	RDCK Planner
S. Kindred	Meeting Coordinator

### 1. ELECTION OF CHAIR CALL FOR NOMINATIONS (3 Times)

Member Sinclair nominated Member Bill Wells.

No other nominations.

**DECLARATION OF ELECTED OR ACCLAIMED CHAIR**

Planning Staff ratified the appointed Member Bill Wells as Chair of the Area D Advisory Planning and Heritage Commission for 2026.

**2. CALL TO ORDER**

Chair Wells called the meeting to order at 7:00 p.m.

**3. TRADITIONAL LANDS ACKNOWLEDGEMENT STATEMENT**

We acknowledge and respect the Indigenous peoples within whose traditional lands we are meeting today.

**4. ADOPTION OF AGENDA**

**MOVED** and seconded,  
AND Resolved:

The Agenda for the April 21, 2026 Electoral Area D Advisory Planning and Heritage Commission meeting, be adopted as circulated.

**Carried**

**5. RECEIPT OF MINUTES**

The December 16, 2025 Electoral Area D Advisory Planning and Heritage Commission minutes, were received.

**6. STAFF REPORTS**

**6.1 FOR INFORMATION: AREA D COMMUNITY PLANNING**

Planning staff provided an update and presentation on the Area D Community Planning Project.

Following up on completed work in 2021 to host land use planning discussions (virtually) for most communities in Area D. The goal of the project is to continue community land use discussions and update/implement land use planning regulations where desired.

The project is currently in its pre-project design phase with an anticipated public launch in Summer 2026.

- The Commission provided feedback on the draft work plan.

Planning Staff answered the Commission Members questions regarding community engagement:

- The Commission suggested the Lardeau Farmer's Market and May days as great opportunities for public participation.
- Clarity was given that the survey is not just open to landowners.
- Concerns were shared regarding the number of times one person can submit a response to a survey and the use of VPNs.

**Tentative next steps**

- Take the APHC's feedback and meet with Director Watson and planning staff.
- The draft Project Charter goes to May Board.
- If approved, green light to launch the public engagement.
- Return to the Area D APHC in June for further discussions and plan to launch the project in June with engagement happening in July / August.

Planning Staff shared their contact information should the Commission have further questions before the next Area D APHC meeting.

**6.2 FOR INFORMATION: CROWN LAND TENURE APPLICATION – KASLO INFONET SOCIETY**

The Crown Land Referral Package dated from Planning Technician Laura Christie for Utilities – Telecommunications Line purposes was received.

The Commission is in support of the application.

**7. PUBLIC TIME**

No members of the public were present.

**8. NEXT MEETING**

The next Electoral Area D Advisory Planning and Heritage Commission Meeting is scheduled for May 19, 2026 at 7:00pm.

**ADJOURNMENT**

**MOVED** and seconded,  
AND Resolved:

The Electoral Area D Advisory Planning and Heritage Commission meeting be adjourned at 7:55 p.m.

**Carried**



# Crown Land Tenure Application

Tracking Number: 100497449

## Applicant Information

If approved, will the authorization be issued to an Individual or Company/Organization/Government?  
What is your relationship to the Company/Organization/Government?

Company/Organization/Government

Employee

## REFERRAL / PUBLIC COMMENT CONTACT INFORMATION

**Company/Organization/Government:** KASLO INFONET SOCIETY  
**Contact Name:** Marco DeBortoli  
**Contact Address:** PO Box 1081  
Kaslo British Columbia V0G 1M0  
Canada  
**Contact Phone:** 250-353-2305  
**Contact Email:** mdebortoli@kin.bc.ca

## APPLICANT COMPANY / ORGANIZATION CONTACT INFORMATION

Please enter the contact information of the Individual/Organization who is acting on behalf of the applicant.

**Name:** KASLO INFONET SOCIETY  
**Doing Business As:**  
**Phone:** 250-353-2305  
**Fax:**  
**Email:** support@kin.bc.ca  
**BC Incorporation Number:**  
**Extra Provincial Inc. No:**  
**Society Number:**  
**GST Registration Number:**  
**Contact Name:** Marco DeBortoli  
**Mailing Address:** PO Box 1081  
Kaslo British Columbia V0G 1M0  
Canada

## CORRESPONDENCE E-MAIL ADDRESS

If you would like to receive correspondence at a different email address than shown above, please provide the correspondence email address here. If left blank, all correspondence will be sent to the above given email address.

**Email:** mdebortoli@kin.bc.ca  
**Contact Name:** Marco DeBortoli

## ELIGIBILITY

Question	Answer	Warning
Do all applicants and co-applicants meet the eligibility criteria for the appropriate category as listed below?  Applicants and/or co-applicants who are Individuals must: 1. Be 19 years of age or older and 2. Must be Canadian Citizens or permanent residents of Canada (Except if you are applying for an aquatic tenure adjacent to privately owned upland)  Applicants and/or co-applicants who are Organizations must	Yes	

either:

1. Be incorporated or registered in British Columbia (Corporations also include registered partnerships, cooperatives, and non-profit societies which are formed under the relevant Provincial statutes) or
2. First Nations who can apply through Band corporations or Indian Band and Tribal Councils (Band or Tribal Councils require a Band Council Resolution).

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**Is your application for a government funded Connectivity Project? (i.e., high-speed internet, cellular, other)**

Yes

To proceed with this application as identified, please provide the following required information in the 'Explanation' box below:

1. Project Name:

This should be a consistent title for the project to be referred to throughout the agency review period.

2. Funding Project Number:

Usually 4-6 digits (eg. 7152 or 010033), as assigned through Connecting Communities BC (CCBC) or Northern Development Initiative Trust (NDIT) or other official funding programs.

3. Please identify any additional provincial applications for permits/authorizations associated with this specific Connectivity project by providing any tracking/file number(s).

For example, vFCBC Tracking Number(s), Crown Land file number(s), Ministry of Transportation and Infrastructure, Forestry, or other provincial natural resource file number. This information will help facilitate the coordinated and efficient multi authorization review (i.e. roadways, BC Hydro infrastructure, etc.).

If you have any questions regarding the above information requirements, please contact [citz.networkbcpermitting@gov.bc.ca](mailto:citz.networkbcpermitting@gov.bc.ca)

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**Is this application in relation to increasing the supply of housing units within British Columbia?**

No

**A Housing related project, for the purpose of this application, must be for a specific development and the development must increase the number of housing units on the land/property.**

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**Is this application related to a BC Hydro Sustainment Project required for the maintenance and upgrading of existing electricity infrastructure, such as replacing aging**

No

equipment, improving transmission systems, or reinforcing substations to support long-term energy needs?

Is this application to support wind, solar, oil or gas activities? No

Explanation for eligibility despite warnings:

Project Name: CCBC-010030 - Kaslo North Fibre Connectivity  
Funded Project Number: CCBC #010030  
Additional Provincial Permits:  
- License of Occupation Application: Lands File #4406538  
- License of Occupation Application: Lands File #4406539  
- License of Occupation Application: Lands File #4406569  
- License of Occupation Application: Lands File #4406571  
- License of Occupation Application: Lands File #4406532  
- MoTT Works Permit: #2025-01280  
- MoTT Works Permit: #2024-01900  
- MoTT Works Permit: #2025-01444

## TECHNICAL INFORMATION

Please provide us with the following general information about you and your application:

### EXISTING TENURE DETAILS

Do you hold another Crown Land Tenure?  
Please specify your file number:

Yes  
4405896, others  
If you have several file numbers, please make a note of at least one of them above. Example numbers: 1234567, 153245, others

### ALL SEASONS RESORTS

The All Seasons Resorts Program serves to support the development of Alpine Ski and non-ski resorts on Crown land. For more detailed information on this program, please see the operational policy. If you have further questions, please contact FrontCounter BC.

Are you applying within an alpine ski resort? No

### WHAT IS YOUR INTENDED USE OF CROWN LAND?

Use the "Add Purpose" button to select a proposed land use from the drop down menu.

In some situations, such as short-term, low-impact use of Crown land or docks/moorage that meet specific criteria, Crown land use is allowed without needing to apply for authorization. Some examples are uses listed within the Land Use Policy - Permissions and, for docks/moorage, within the Private Moorage policy.

For all application types, you should review the Land Use Policy that describes your intended use of Crown land to determine if your activity is permissible under the Land Act.

Purpose	Tenure	Period
Utilities Telecommunication Line	Licence of Occupation	Ten to thirty years

### ACCESS TO CROWN LAND

Please describe how you plan to access your proposed crown land from the closest public road:

The project will not require the creation of any new roads or connections to access the tenure area; it can be reached through the use of existing roads and infrastructure. The tenure area can be accessed by turning north on Highway 31, and then continuing approximately 3km north of Kaslo to the proposed tenure area.

Section 3.2 of the provided Management Plan provides more detail regarding access, including pictures and plans.

## UTILITIES

Applications are accepted for Crown land used for linear public and private utilities, including aquatic land within Provincial Forests and land subject to regulation under the Park Act.

<b>Specific Purpose:</b>	Telecommunication Line
<b>Period:</b>	Ten to thirty years
<b>Tenure:</b>	Licence of Occupation

## TOTAL APPLICATION AREA

Please give us some information on the size of the area you are applying for.

<b>Specify Length:</b>	1308 meters
<b>Specify Width:</b>	3 meters

## PROJECT DETAILS

Please provide further information on your application as it may affect your application fee.

<b>Are you providing service to a single residential lot or individual general commercial site?</b>	No
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<b>Length of utility line:</b>	1.308 kilometers
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## ADDITIONAL QUESTIONS

In many cases, you might require other authorizations or permits in order to complete your project. In order to make that determination and point you in the right direction, please answer the questions below. In addition, your application may be referred to other agencies for comments.

<b>Is the Applicant or any Co-Applicant or their Spouse(s) an employee of the Provincial Government of British Columbia?</b>	No
--	----

<b>Are you planning to cut timber on the Crown Land you are applying for?</b>	No
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<b>Are you planning to use an open fire to burn timber or other materials?</b>	No
--	----

<b>Do you want to transport heavy equipment or materials on an existing forest road?</b>	No
--	----

<b>Are you planning to work in or around water?</b>	No
---	----

<b>Does your operation fall within a park area?</b>	No
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## LOCATION INFORMATION

## DRAWINGS

Please provide information on the location and shape of your Crown land application area. You can use one or more of the tools provided.

I will upload a PDF, JPG or other digital file(s)

## MAP FILES

Your PDF, JPG or other digital file must show your application area in relation to nearby communities, highways, railways or other land marks.

Description	Filename	Purpose
Mapping showing the general location of the Crown land for context and overview	Appendix A - General Area.pdf	Utilities
Site plan mapping showing the proposed tenure area at high resolution	Appendix B - Site Plan.pdf	Utilities

I will upload files created from a Geographic Information System (GIS)

**SPATIAL FILES**

Do you have a spatial file from your GIS system? You can upload it here.

NOTE: Shapefile is the preferred format and requires a closed polygon, projection in BC Albers/NAD 83 and the .dbf, .shp, .shx and .prj files.

Other Commonly Used Spatial File Formats may also be submitted.

Description	Filename	Purpose
GIS file with the requested tenure area polygon layer	KiN - Kaslo North - Tenure Area.kml	Utilities

**ATTACHED DOCUMENTS**

Document Type	Description	Filename
General Location Map	General location mapping showing the location of the Crown land for context and overview	Appendix A - General Area.pdf
Management Plan	Management plan outlining details about the proposed project and tenure area	KiN - Management Plan - Kas...
Other	GIS file with tenure area polygon	KiN - Kaslo North - Tenure ...
Other	Mapping showing nearby tenures and conservation areas	Appendix C - Other Tenures.pdf
Other	Photos of the tenure area	Appendix D - Location Photo...
Site Plan	Site plan mapping showing the tenure area at high resolution	Appendix B - Site Plan.pdf

**PRIVACY DECLARATION**

Check here to indicate that you have read and agree to the privacy declaration stated above.

**IMPORTANT NOTICES**

- Once you click 'Next' the application will be locked down and you will NOT be able to edit it any more.

**DECLARATION**

I declare that the information contained on this form is complete and accurate.

**APPLICATION AND ASSOCIATED FEES**

<b>Item</b>	<b>Amount</b>	<b>Taxes</b>	<b>Total</b>	<b>Outstanding Balance</b>
Crown Land Tenure Application Fee	\$1,000.00	GST @ 5%: \$50.00	\$1,050.00	\$0.00

**OFFICE**

Office to submit application to: Cranbrook

**PROJECT INFORMATION**

Is this application for an activity or project which requires more than one natural resource authorization from the Province of BC? No

**OFFICE USE ONLY**

Office Cranbrook	File Number	Project Number
	Disposition ID	Client Number



# MANAGEMENT PLAN

License of Occupation (Crown Land) Application – Kaslo North  
 February 5, 2026

## Version Control

Version	Date	Status	Author	Changes
1.0	2026-02-05	Published	<a href="#">Marco DeBortoli</a>	Initial application

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## 1.0 Background

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### 1.1 Project Overview

#### 1.1.1 Kaslo infoNet Society

Kaslo infoNet Society (abbrev. KiN) is an internet service provider that has provided fibre-optic and wireless internet to residents in Kaslo and RDCK Area D for the past decade. As a local non-profit, Kaslo infoNet Society’s mission is to provide internet connectivity to the small underserved communities in the Kootenay Lake area that currently don’t have access to reliable high-speed internet service.

Kaslo infoNet Society accomplishes this mission by constructing and operating its own fibre-to-the-home internet network throughout the area. The backbone for the fibre network is typically installed within the Ministry of Transportation and Transit (MoTT) highway right-of-way, but there are situations when Kaslo infoNet Society needs to install the infrastructure on Crown land with the permission of the Ministry of Water, Land and Resource Stewardship (WLRS).

#### 1.1.2 Funded Connectivity Project

Kaslo infoNet Society has an ongoing funded connectivity project provided by Connecting Communities BC (CCBC #010030) to help expand its fibre internet service within RDCK Area D and provide high-speed internet service to 262 households. The project will extend Kaslo infoNet Society’s fibre network north from Kaslo, to several properties along Highway 31 that are outside the Village of Kaslo boundary.

Figure 1 below shows the relevant project area for this Crown Land Tenure Application from the Connecting Communities BC Statement of Work. Note that the tenure being requested in this application is for approximately 1.31km of Crown land between a private property just north of Larch Dr. and two private properties in the Brake Check area (north of Kaslo).

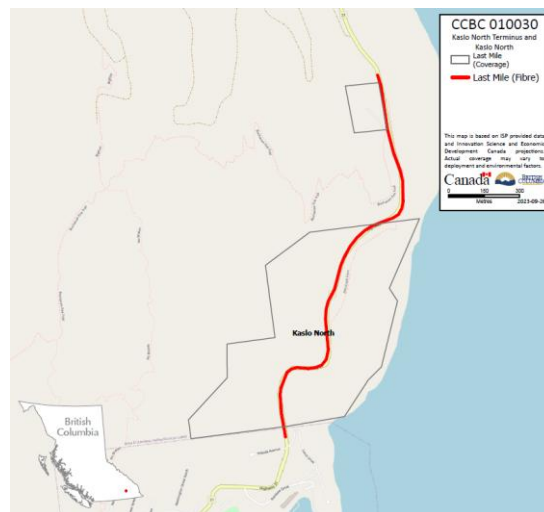


Figure 1 - Relevant CCBC-010030 Statement of Work Project Area (Kaslo North)



### 1.1.3 License of Occupation

As part of the funded connectivity project, Kaslo infoNet Society is seeking a License of Occupation from the BC Ministry of Water, Land and Resource Stewardship to install buried telecommunication utilities (fibre internet) on 1.31km of Crown land located just to the north of the Regional District of Central Kootenay community of Kaslo. The tenure area is split into three main sections:

1. Following existing recreation trails through a Crown Provincial parcel with PID 005-616-638 on the east side of Highway 31
2. Crossing Highway 31 from the east side to the west side using directional drilling
  - a. This section will require a Works Permit from the Ministry of Transportation and Transit
3. Following existing recreation trails through an Untitled Provincial parcel with PIN 9160551 on the west side of Highway 31

More details about the location of the proposed tenure can be found in Section 2 of this plan.

### 1.1.4 Land Use Overview

Kaslo infoNet Society is proposing to use the requested Crown land to install fibre-optic internet infrastructure. For the entirety of the tenure area the fibre infrastructure will be buried underground at a depth of 0.75m or deeper. The installed infrastructure will be used to connect Kaslo infoNet Society's existing fibre network in Kaslo to two private properties along Highway 31 that are between Kaslo and Shutty Bench. By making this connection, Kaslo infoNet Society will be able to transition those properties off its ageing wireless service and offer high-speed and reliable fibre internet service.

The first phase of the project will involve the construction work required to install the buried fibre infrastructure within the tenure area. It is expected that the construction phase will take approximately one month to complete. The work encompassed during the construction phase is summarized below:

- For the tenure area along the recreation trails, Kaslo infoNet Society will bury the infrastructure in a 0.20m wide by 0.75m deep trench, which will be excavated beside the trails (where possible), or along the centre of the trails
  - Any trenches that are created to bury the infrastructure will be filled back in using the substrate that is removed during the excavating, and returned to original condition
- For the tenure area crossing Highway 31, Kaslo infoNet Society will use directional drilling to install the fibre internet at a depth of 1.2m below the highway (within conduit)
- There will be no above ground infrastructure within the tenure area once the construction is completed

In total around 1.31km of fibre internet infrastructure will be installed in the tenure area during the construction phase. Additional technical details about Kaslo infoNet Society's construction process, as well as details about the fibre infrastructure can be found in Section 3 of this management plan.

The second phase involves the operation and maintenance of the installed infrastructure. Fibre internet infrastructure is passive, which means that it does not carry an electrical current or any liquid. It can also operate without any additional utilities or human intervention. Therefore, this phase (which constitutes



the majority of the requested License of Occupation) does not involve regular access to the tenure area. The infrastructure will only be accessed in the rare circumstance that a repair needs to be made.

This management plan goes into additional detail about the project including: details about the proposed location, construction process and installed infrastructure, potential wildlife and environmental impacts, and potential socio-community impacts.

## 1.2 Investigative Work

Kaslo infoNet Society has not performed any technical investigative work in the proposed tenure area beyond visual exploration using satellite imagery and mapping, local knowledge and an on-site visual inspection of the Crown Land.

## 1.3 First Nations

Kaslo infoNet Society has worked closely with first nations groups and archaeologists on prior Crown land projects, and is aware of the potential impacts of any ground disturbance caused by its construction practices.

The project manager and construction crew will be made aware that archaeological remains predating AD 1846 and sites containing rock art or human burials are automatically protected in BC from disturbance, both intentional and inadvertent, by the Heritage Conservation Act.

In the event that any pre-contact cultural material is encountered or suspected to have been exposed during the construction phase all ground disturbance in the immediate vicinity of the suspected find(s) will be suspended at once and the Ministry of Forest, Lands and Natural Resource Operations, Archaeology Branch will be informed as soon as possible of the location of the archaeological remains and the nature of the disturbance.



## 2.0 Location

### 2.1 General Description

#### 2.1.1 Location Overview

Kaslo infoNet Society is seeking a License of Occupation for a section of Crown land approximately 1308m (1.31km) long by 3m wide. The tenure area includes the following components:

#### Buried Fibre Segments

1. PID 005-616-638 – buried 0.75m underground following recreation trails on a Crown Provincial parcel with PID 005-616-638 between PID 027-834-875 [49.921440, -116.901414] and the east edge of Highway 31 [49.926957, -116.898132]
2. Highway 31 Crossing – installed in conduit 1.20m under Highway 31 between the east side [49.926957, -116.898132] and west side [49.927133, -116.898449] of the highway
  - a. The infrastructure will be installed within the Ministry of Transportation and Transit right-of-way, and will require a Works Permit
3. PIN 9160551 – buried 0.75m underground following recreation trails on an Untitled Provincial parcel with PIN 9160551 between the west edge of Highway 31 [49.927133, -116.898449] and PID 028-766-709 [49.930358, -116.898574]

Photos of the tenure area can be found in *Appendix D*, and additional details about each component above can be found later in this Management Plan.

#### 2.1.2 GPS Coordinates

GPS coordinates delineating the tenure area can be found in Table 1 below.

#	Name	Latitude	Longitude	Notes
<b>PID 005-616-638 Buried Fibre Segment</b>				
1	Main Line Start	49.921440	-116.901414	At property boundary
2	End of Unnamed Trail and Start of Jimi Crack Corn Trail	49.924077	-116.902051	Jimi Crack Corn is recreation trail managed by KORTS
3	Edge of PID 005-616-638	49.926806	-116.898413	
4	Highway 31 Crossing (East)	49.926957	-116.898132	
<b>Highway 31 Crossing</b>				
1	Highway 31 Crossing (East)	49.926957	-116.898132	
2	Highway 31 Crossing (West)	49.927133	-116.898449	
<b>PIN 9160551 Buried Fibre Segment</b>				
1	Highway 31 Crossing (West)	49.927133	-116.898449	
2	Start of Unnamed Trail	49.927218	-116.898607	

3	End of Unnamed Trail at Parking Lot	49.929942	-116.898491	
4	Main Line End	49.930358	-116.898574	At private property boundary

Table 1 - GPS Coordinates for Proposed Tenure Area

### 2.1.3 Parcels of Interest

There are several parcels of interest that the proposed tenure area either borders or crosses. Data from ParcelMap BC for the parcels of interest are included in Table 2 below, as well as a print report showing the parcels of interest in Figure 2.

#	Parcel Identifier (PID)	Identification Number (PIN)	Owner Type	RDCK Name
Tenure Crosses Parcel – See Section 2.4 and Section 5.1 for more details				
1	005-616-638	-	Crown Provincial	-
2	-	9160551	Untitled Provincial	-
Tenure Borders Parcel – See Section 5.2.1 for more details				
1	027-834-875	-	Private	8306 Highway 31, RDCK Region
2	027-834-883	-	Private	Plan NEP88669
3	028-766-709	-	Private	8567 Highway 31, RDCK Region
4	028-766-695	-	Private	8569 Highway 31, RDCK Region

Table 2 - Relevant Tenure Area Parcels

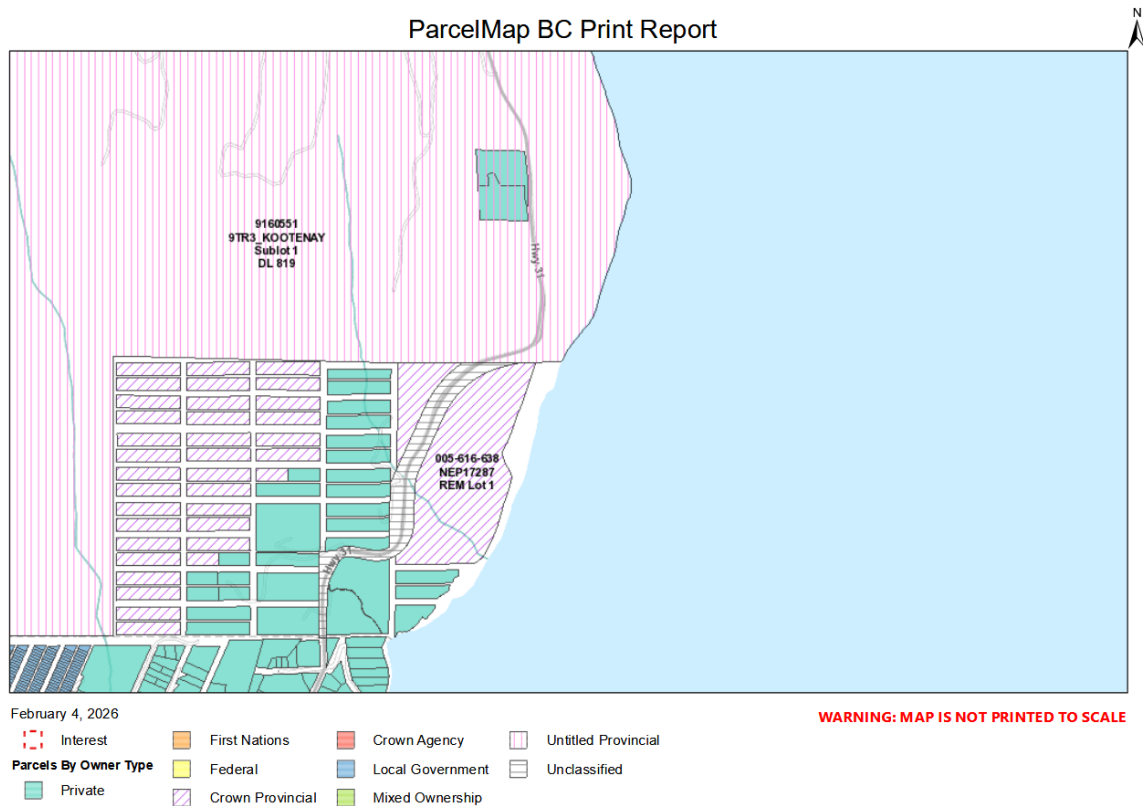


Figure 2 - ParcelMap BC Print Report Showing Relevant Parcels

## 2.1.4 Conservation Areas

There are no conservation areas or provincial parks close to the proposed tenure area.

## 2.1.5 Mapping

Provided alongside this application are three sets of maps (in PDF format) which describe the location and the proposed tenure area in more detail:

1. *Appendix A – General Area* – overview mapping showing the area of interest in the West Kootenay district of British Columbia
2. *Appendix B – Site Plan* – in-depth mapping showing the tenure area with nearby geographical features, transportation layers, infrastructure and parcels
3. *Appendix C – Other Tenures* – mapping showing the requested tenure area with nearby active Crown land tenures, as well as conservation areas
  - a. Active tenures were retrieved using the following BC Data Catalogue data source: <https://catalogue.data.gov.bc.ca/dataset/589cb979-731f-4151-bb2b-10ed66278099>
  - b. Active conservation areas were retrieved using the following BC Data Catalogue source: <https://catalogue.data.gov.bc.ca/dataset/68327529-c0d5-4fcb-b84e-f8d98a7f8612>
  - c. Active provincial parks and protected areas were retrieved using the following BC Data Catalogue source: <https://catalogue.data.gov.bc.ca/dataset/bc-parks-ecological-reserves-and-protected-areas>

The tenure area polygon is also provided as a KML file alongside this management plan.

## 2.2 Location Justification

The proposed tenure area was chosen for several reasons, which are listed below:

- Kaslo infoNet Society is based out of Kaslo (the community directly south of the tenure area) and already has an active fibre network throughout that community
  - Kaslo infoNet Society has left extra fibre capacity at the north end of Aspen Rd. (directly south of the tenure area) for an eventual expansion north, which could be used for this tenure area
- The tenure area would allow Kaslo infoNet Society to avoid installing fibre along Highway 31, which is a local major thoroughfare that has challenging installation conditions
  - Due to the topology of the highway right-of-way, it is unlikely that the Ministry of Transportation would allow buried fibre installation parallel along the highway
- Due to the existing disturbance caused by the recreation trails, it is likely that no additional timber clearing will be required in the proposed tenure area
  - PID 005-616-638 has also undergone some recent FireSmart work, which means that less vegetation clearing will be required for the construction phase of the project
- Access to the proposed tenure area is convenient due to easy access from Highway 31, Larch Dr. and the parking lot in the “Brake Check” area along Highway 31 (at the north end of the tenure area)



## 2.3 Seasonal Expectations of Use

Table 3 below shows the times of the year that Kaslo infoNet Society is proposing to use the tenure area.

Project Phase	Description	Season / Timing
Construction	Involves the installation of fibre internet infrastructure underground in a 0.20m wide by 0.75m deep trench	One month in Summer 2026
Operations / Maintenance	Once constructed, the fibre infrastructure operates underground independently without direct intervention  Maintenance should not be required, and if needed only takes one or two days for repair with no heavy equipment	Year round

Table 3 - Seasonal Expectations of Use

## 2.4 Historical Use

The Government of BC GATOR system was accessed to determine the historical use for the Crown Provincial parcel (PID 005-616-638) and Untitled Provincial parcel (PIN 9160551) that overlap with the tenure area.

The GATOR Consolidated Parcel Interest report for the Crown Provincial parcel (PID 005-616-638) can be found below in Figure 3. The parcel has one active tenure, which is a Section 17 Designated Use Area for Recreation (Crown Lands File #0193232).

GATOR Consolidated Parcel Interest Report										
Search Criteria: Primary PIN: 11181221, Tenure History: On										
Date Created: 04-Feb-2026										
Created By: GATOR										
Pin Id: 11181221										
Tenure History: On <input type="button" value="Enable"/> <input type="button" value="Disable"/>										
Subdivision Parcel										
PIN	RoW	Legal Description			Area (Ha)	Status	Confirmed	LT Office	Defining Document Type	
11181221		LOT 1, DISTRICT LOT 431, KOOTENAY DISTRICT, PLAN 17287.			18.7	Superseded			PLN 17287	
Interest Summary										
PIN	Tantalis ID	File #	Document #	Interest	Sur/Under	Effective Date	Location	Status	Area (Ha)	
11181221	212035			Acquisition	S	11-Dec-1986			0	
11181221	212398	0193232	52004	Reserve/Notation		22-Nov-1952	KASLO	Active	10.43	

Figure 3 - GATOR Consolidated Parcel Interest Report for PID 005-616-638



Due to the large size of the Untitled Provincial parcel with PIN 9160551 (61988.6 Ha), there are over 150 records of active and historical use. There were no active tenures within the tenure area being requested in this application. The GATOR Consolidated Parcel Interest report showing the historical use for the parcel can be found at the following link: [GATOR 9160551](#).

### 3.0 Infrastructure

#### 3.1 Facilities or Infrastructure

The proposed tenure area will be used by Kaslo infoNet Society to install new fibre internet utility infrastructure. In order to provide maximum protection from damage, Kaslo infoNet Society will bury the fibre internet infrastructure and equipment underground.

Infrastructure	Construction Methods / Materials	Construction Schedule	Long Term Planning
Fibre internet infrastructure (telecommunications utility)	Buried underground in narrow trenches  See subsection 3.1.1 and subsection 3.1.2 for additional details about materials and methods	Construction takes one month. Planned for Summer 2026.	See subsection 3.1.3 for additional details

*Table 4 - Facilities or Infrastructure Installed in Proposed Tenure Area*

##### 3.1.1 Materials and Facilities

Due to the short distances involved in the tenure area (less than 100km), Kaslo infoNet Society will not need to install any new above ground facilities as part of the fibre internet infrastructure installation. All the infrastructure can be buried underground and can be operated passively from fibre distribution facilities in Kaslo.

There are only three materials that will be installed as part of the project, which are detailed in Table 5 below.

Material	Location	Details
Fibre Cables	Buried	Fibre cables consist of a bundle of glass tubes (strands) which are used to transfer telecommunication signals using light <ol style="list-style-type: none"> <li>1. The glass strands are wrapped in protective materials such as a hard plastic outer covering and strength members in order to protect the fragile glass from damage</li> <li>2. Fibre cables are often denoted by the number of glass strands within the cable (such as 12 or 24). Kaslo infoNet Society generally uses low count fibre (up to 144 strands) which has an outer diameter of less than 10mm</li> <li>3. Importantly, the fibre cables that Kaslo infoNet Society uses are inert and passive, meaning that they do not carry an electrical signal and do not require power (or</li> </ol>

		<p>other utilities) to operate. The cable simply operates as a medium to transport the light</p> <p>4. Kaslo infoNet Society uses “direct bury” fibre cables, which can be buried underground without additional protective measures (such as conduit)</p>
Conduit (HDPE)	Buried	<p>In some cases, direct buried fibre cables require additional protection – such as cases where the cable crosses a road with heavy vehicles or high traffic volume. In those cases, the fibre is placed inside a hard PVC plastic conduit to offer superior protection. Conduit is also used when performing trenchless installation methods such as boring.</p> <p>The current plan calls for the use of conduit for the Highway 31 crossing. The construction team may also choose to install additional conduit elsewhere should the conditions on the ground warrant the need.</p>
Marking Tape	Buried	<p>In order to easier locate the buried infrastructure in the future, Kaslo infoNet Society buries metallic marking tape alongside the fibre cables so that they can be found using a metal detector.</p>

Table 5 - Materials to be Installed in Tenure Area

### 3.1.2 Construction Methods

#### Buried Fibre Installation

Within the tenure area, Kaslo infoNet Society will bury the fibre infrastructure materials underground because it offers superior protection to the weather, accidental human damage and natural disasters such as wildfires, avalanches, and rock slides.

In order to bury the fibre infrastructure, Kaslo infoNet Society will use a small excavator (1.8t) to dig a narrow trench approximately 0.20m wide by 0.75m deep. The fibre cables and other infrastructure (marking tape and conduit) will be placed in the bottom of the trench, and then the trench will be filled back in with the original excavated substrate. The filled trench will then be tamped down to original condition, and any rocks or vegetation that were moved will be placed back in their original position. Figure 4 below shows a typical cross-section of the trench with buried fibre cables.

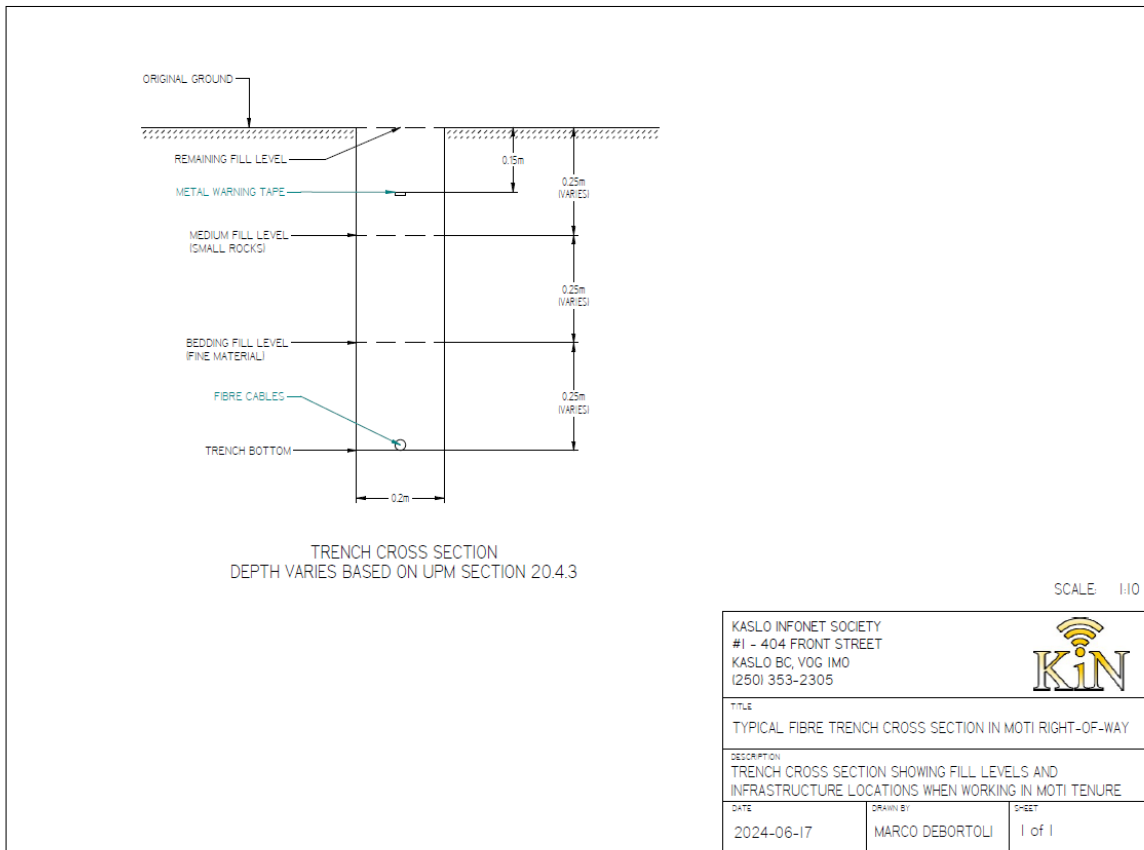


Figure 4 - Typical Trench Cross-Section

For work within this tenure area, the trenching and fibre installation will occur along existing recreational trails. Wherever possible, Kaslo infoNet Society will install the fibre along the side of the trails in order to avoid disturbing the trail. However, in some places the installation may be along the centre of the trails due to the topology of the tenure area.

### Construction Crew

The construction crew will consist of two to three experienced workers who have worked with Kaslo infoNet Society for multiple seasons.

The construction crew will use a single 1.8t excavator which will perform the trenching. The excavator is equipped with a custom 15cm wide bucket and rubber tracks in order to reduce ground disturbance and prevent damage to any paved surfaces. If there are any environmentally sensitive areas within the tenure area, an excavator that uses environmentally friendly Biohydran hydraulic oil can also be used.

The crew and excavator will be transported to the tenure area using standard pickup trucks and a small trailer. The excavator will be left within the tenure area until the construction phase is completed, but the crew will be transported back and forth to the tenure area from Kaslo each day via truck.



### 3.1.3 Maintenance and Improvements

#### Maintenance

Fibre infrastructure does not require regular maintenance, and cables can operate passively for dozens of years without human intervention. The most common form of maintenance that needs to be done on Kaslo infoNet Society's infrastructure is when it is accidentally damaged by human activities such as excavating. For cases where terrestrial fibre is damaged, Kaslo infoNet Society will be notified and dispatch a service technician who can perform a simple splice at the point of damage and re-bury the cable within a couple of hours.

Kaslo infoNet Society also participates in BC1Call, which is a service that individuals or companies can call prior to digging to get information about any infrastructure within their construction area. This service helps prevent accidental damage to the infrastructure.

#### Improvements

The capabilities of the installed fibre internet infrastructure are already future-proof in that it is unlikely that upgrades or improvements will need to be made to the infrastructure within the License of Occupation timeframe. However, if upgrades are required, the existing infrastructure will need to be replaced with newer (or a higher quantity) of cabling. Kaslo infoNet Society would perform this service free-of-charge to subscribers, and it could be completed with the same construction methods, materials and within the same footprint as the approved tenure.

## 3.2 Infrastructure / Access

### 3.2.1 Road Creation

This project will not require the creation of any new roads or connections to access the tenure area; it can be reached through the use of existing roads and infrastructure. Kaslo infoNet Society will require the use of Highway 31, which is a paved road maintained by the Ministry of Transportation and Transit, in order to access the tenure area.

### 3.2.2 Existing Road Use

Accessing the proposed tenure area will be straightforward, as it can be reached using the existing Ministry of Transportation and Transit road network. The tenure area can be accessed by turning north on Highway 31 from A Avenue in Kaslo and then continuing roughly 3km north to the proposed tenure area. This access route is shown in Figure 5 below.

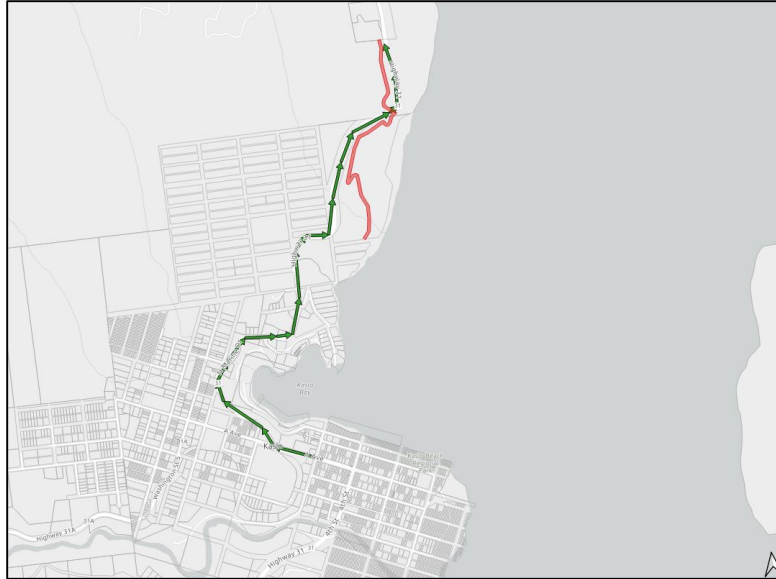


Figure 5 - Crown Land Tenure Area Access

### 3.2.3 Authorizations

Apart from the License of Occupation from the Ministry of Water, Land and Resource Stewardship, there are two other authorizations that may be required for this project:

1. *Works Permit* – authorization issued by the Ministry of Transportation and Transit for utility work within the provincial highway right-of-way
  - a. This authorization will be required for the Highway 31 crossing segment, and can be obtained through the typical MoTT Works Permit application process
  - b. Kaslo infoNet Society will work with MoTT to ensure that the Highway 31 crossing is compliant with the Utility Policy Manual standards
2. *Recreation Trail Use Authorization* – permission obtained from the Kaslo Outdoor Recreation and Trails Society (KORTS) for fibre installation along the Jimi Crack Corn trail

Kaslo infoNet Society does not anticipate the need to perform any maintenance or snow ploughing of the access roads, paths and trails, but if that changes then a *License of Occupation* under the *Land Act Roadway policy* will be obtained.

### 3.3 Utilities Requirements and Sources

Kaslo infoNet Society does not require any additional utilities such as power, gas, water or sewer for this project. No utilities are needed during construction, and the fibre internet infrastructure does not require any additional utilities to operate.

### 3.4 Water Supply

Kaslo infoNet Society does not have any water requirements for this project. No water supply is needed during construction, and the fibre internet infrastructure does not require a water supply to operate.



### 3.5 Waste Collection, Treatment and Disposal

During the construction phase, any waste generated will be removed by Kaslo infoNet Society using pickup trucks. The construction equipment (excavator) does not produce any waste, and construction workers will remove any food waste or other garbage at the end of each work day. Cleared vegetation will also be removed for FireSmart reasons (see Section 4.1 regarding expected vegetation clearing). Any substrate removed as part of the burial process will be put back into the trench after placing the fibre internet cables.

Once installed the fibre internet infrastructure does not generate any waste during operation.

### 3.6 FireSmart

There are no additional FireSmart best practices that need to be incorporated for the buried fibre infrastructure in the tenure area. Burying the fibre cable provides superior protection against the challenging mountain conditions including wildfires, avalanches, rock and mud slides and motor vehicle incidents.

## 4.0 Environmental

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### 4.1 Land Impacts

#### 4.1.1 Vegetation Removal

Due to the fact that tenure area follows the disturbance of existing recreation trails, Kaslo infoNet Society does not expect that any timber removal will be required for this project. However, if this changes during the construction phase and timber does need removal, Kaslo infoNet Society will apply for an *Occupant License to Cut* for all harvested timber.

Some minor vegetation will likely need to be removed in order to facilitate the trenching required as part of the construction phase. This vegetation will likely include small shrubs, grass and bushes. Kaslo infoNet Society will take every effort to avoid the excessive clearing of vegetation, and will only clear what is required in order perform the trenching.

#### 4.1.2 Soil Disturbance

As part of the construction phase, Kaslo infoNet Society will be excavating a small trench approximately 0.20m wide by 0.75m deep. Once the trench has been excavated and fibre infrastructure installed, it will be filled back in with the original excavated material and then tamped down to return the ground to a state close to original. The area excavated will not be a brownfield site and does not have the potential to be contaminated.

Kaslo infoNet Society has worked closely with first nations groups and archaeologists on prior Crown land projects, and is aware of the potential impacts of any soil disturbance. The project manager and construction crew will be made aware that archaeological remains predating AD 1846 and sites containing rock art or human burials are automatically protected in BC from disturbance, both intentional and inadvertent, by the Heritage Conservation Act. They will be given for reference the archaeological information sheet previously provided by archaeological consultants to Kaslo infoNet Society explaining regionally-applicable archaeological sites types and artifact assemblages.

In the event that any pre-contact cultural material is encountered or suspected to have been exposed during the construction phase all ground disturbance in the immediate vicinity of the suspected find(s) will be suspended at once and the Ministry of Forest, Lands and Natural Resource Operations, Archaeology Branch will be informed as soon as possible of the location of the archaeological remains and the nature of the disturbance.

#### 4.1.3 Riparian Encroachment

The requested tenure area does not encroach on any riparian areas. All proposed infrastructure will be located more than 30 metres from any watercourses, water bodies or wetlands. Regional District of Central Kootenay GIS water/stream layers indicated that there was an unnamed stream running through the tenure area, but an on-site investigation did not uncover any stream.

In the event that a previously unknown water source is encountered during the course of work, Kaslo infoNet Society will apply for a *Changes in and about a Stream* authorization prior to commencing any work within the riparian area.

#### 4.1.4 Pesticides and Herbicides

Pesticides, fertilizers, or herbicides will not be used during construction, operations or maintenance.

#### 4.1.5 Visual Impacts

The proposed fibre internet infrastructure will have no visual impact on the landscape, as all materials will be installed underground. Upon completion of the installation, all disturbed areas will be restored to their original condition, maintaining the natural aesthetic of the Crown Land and preserving the visual character of the surrounding environment.

### 4.2 Atmospheric Impacts

#### 4.2.1 Sound, Odour, Gas, or Fuel Emissions

During the construction phase the use of an excavator will cause minimal sound and fuel emissions. The excavator is small (1.8t) and will only be used during regular daytime working hours (7am to 5pm) for one month. The sound and fuel emissions are unlikely to disturb wildlife or the residential addresses near the tenure area.

Once construction is completed and the installed infrastructure is operational, there will be no additional sound, odour, gas or fuel emissions emitted as part of the project.

### 4.3 Hydrology

#### 4.3.1 Drainage Effects

The project will not result in changes to land drainage. After the fibre infrastructure is installed, Kaslo infoNet Society returns the ground to a condition similar to the original, and will avoid disturbing any existing drainage ditches and culverts as much as possible.

#### 4.3.2 Flood Potential

The project will not result in a potential for flooding.

### 4.4 Fish and Wildlife Habitat

#### 4.4.1 Disturbance to Fish/Wildlife and Fish/Wildlife Habitat

The proposed fibre installation will have minimal impact on fish and wildlife habitat due to several key factors: the small physical footprint (0.20m wide trenches), utilization of existing disturbed recreation trails, complete underground installation, and brief one-month construction period. All infrastructure will be buried, eliminating permanent above-ground structures that could fragment habitat or create barriers to wildlife movement.

##### Construction Phase

Kaslo infoNet Society has identified potential disturbances during the construction phase, and assessed each for risk level, as detailed in Table 6 below.

Risk	Risk Level	Comments
Minor vegetation clearing	LOW	Only minor vegetation (tall grass, shrubs, etc.) will be cleared to facilitate the fibre burial  Risk level is low due to the small scope of vegetation clearing.
Ground / soil disturbance	LOW	Trenching will disturb the soil and ground in the tenure area. Trenches will be minimal, with a width of 0.20m and depth of 0.75m.  Risk level is low due to the small size of the trench, and effort to return the ground to similar condition once construction is complete.
Construction noise	LOW	During construction, noise will only be emitted by a single excavator.  Risk level is low due to the small construction crew, daytime construction hours, and short construction phase.

*Table 6 - Risk of Disturbance to Fish & Wildlife*

The project will have no impact on erosion and sedimentation due to the immediate restoration of trenches with original substrate and the minimal ground disturbance footprint. No water diversion will be required.

##### Operation Phase

Once operational, the buried fibre infrastructure is entirely passive, generating no noise, light, emissions, or disturbances to fish or wildlife. The operation phase presents zero ongoing impact to wildlife or wildlife habitat.

## 5.0 Socio-Community

### 5.1 Land Use

According to the BC Data Catalogue [TANTALIS – Crown Tenures](#) layer, the proposed tenure area for this project overlaps with one existing tenure. Details about the overlapping tenure can be found below.

1. Crown Lands File: #0193232
  - Type: Section 17 Designated Use Area
  - Status: Disposition in Good Standing
  - Purpose: Environment, Conservation and Recreation (Recreation Reserve)
  - Expiry: October 21, 2048

In addition to the overlapping tenure, there are also two additional tenures which are nearby to the proposed tenure, as detailed in Table 7 below. The nearby tenures will not be impacted by the work proposed in this application.

#	Tenure Type	Crown Lands File Number	Document Number	Tenure Purpose
1	Reserve / Notation Notation of Interest	0257951	64179	Transportation (Navigation Aid)
2	License License of Occupation	4405896	405600	Utility (Telecommunication Line)

*Table 7 - Nearby Active Tenures*

In addition to the official tenures listed above, the tenure area is also used by the Kaslo Outdoor Recreation and Trails Society (KORTS) for their mountain bike trail (Jimi Crack Corn).

### 5.2 Socio-Community Conditions

#### 5.2.1 Adjacent Users and Communities

The tenure area is located just north of Kaslo, which is a small community located on the west side of Kootenay Lake in the Regional District of Central Kootenay (Area D). The License of Occupation and proposed fibre installation works will have no negative impact on the community. Additional information about the nearby communities can be found in Table 8 below.

Community	Population	Comments
Kaslo (RDCK Area D)	1049 (according to 2021 census)	Closest highway accessible community which is located immediately south of the tenure area.  Kaslo infoNet Society is based out of Kaslo, and offers fibre internet service throughout the community.
Shutty Bench (RDCK Area D)	Approx. 200	Rural community located several kilometers north of the tenure area.



		Kaslo infoNet Society offers fibre internet service to the community, and has performed similar fibre work in the community in the past couple years.
--	--	---

*Table 8 - Communities Nearby to Tenure Area*

The tenure area is adjacent to four Private parcels. Kaslo infoNet Society has already informed some of the private property owners about the project, and is in discussions with them regarding potential fibre installation to their properties. The neighbouring parcels of interest are listed in Table 9 below.

Parcel	Property Type	Comments
PID 027-834-875 8306 Highway 31, RDCK Region	Private Property	The property owner has not yet been contacted about the project, but will be contacted prior to construction.
PID 027-834-883 Plan NEP88669	Private Property	No contact has been established. The work will have no impact on this property.
PID 028-766-709 8567 Highway 31, RDCK Region	Private Property	The property owner is aware of the project to bring fibre to this property. They will be contacted again when fibre is available at their property line.
PID 028-766-695 8569 Highway 31, RDCK Region	Private Property	The property owner is aware of the project to bring fibre to this property. They will be contacted again when fibre is available at their property line.

*Table 9 - Property Owners Adjacent to Tenure Area*

Once completed, this project will provide better internet service to community members north of Kaslo. Kaslo infoNet Society has also been in contact with local politicians from the Regional District of Central Kootenay (RDCK) about the project, and no concerns regarding plans, strategies or use restrictions were raised by the local government.

## 5.2.2 Public Access

### Construction Phase

The project will not require closure of any Ministry of Transportation and Transit roads during construction. Adjacent landowners and tenure holders will maintain full access to their properties and tenures throughout the construction period.

However, recreation trails within the tenure area, including the Jimi Crack Corn mountain bike trail managed by the Kaslo Outdoor Recreation and Trails Society (KORTS), will need to be temporarily closed during active construction for safety reasons. Kaslo infoNet Society will coordinate with KORTS to communicate trail closures to the public and minimize disruption to recreational users. The construction phase is expected to last one month.

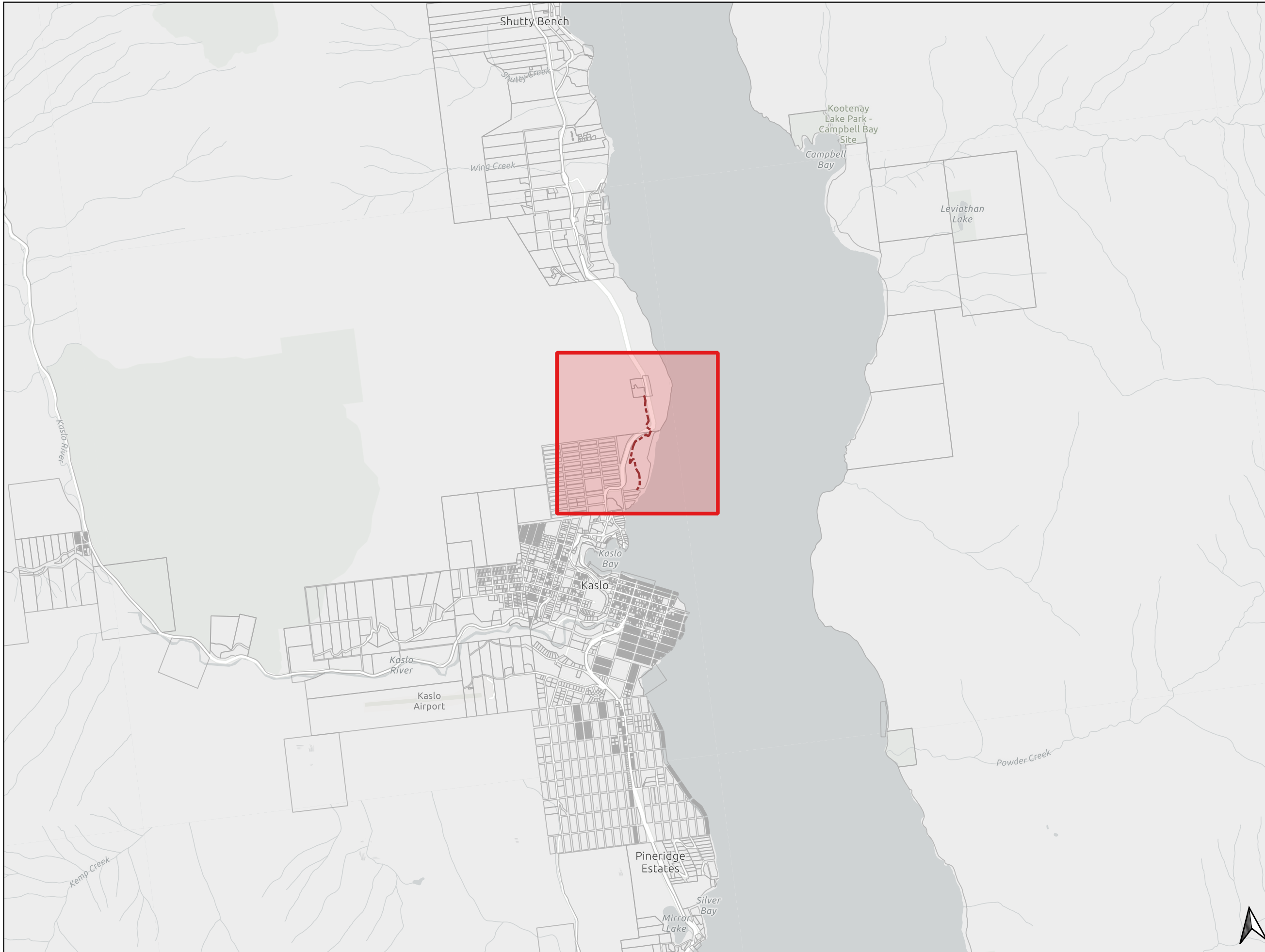


### Operation Phase

Once construction is completed, the installed infrastructure will be completely underground and will have no impact on public access. All recreation trails will be fully reopened and restored to their original condition, and there will be no ongoing restrictions to public access in the tenure area.

#### 5.2.3 Existing Services

There will not be any increased demand on local fire protection, health facilities or emergency services. Construction will take approximately one month and involve minimal crew and equipment, with no long term presence. The installed infrastructure is passive and will be entirely underground, offering superior fire and environmental protection.



# Kaslo infoNet Society



#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

PROJECT KASLO NORTH CROWN LAND

SHEET GENERAL AREA



## Legend

- General Area
- Fibre Installation

### Base Layers

- RDCK Cadastre
- Light Grey Canvas

DATE 2026-02-04

AUTHOR MARCO DEBORTOLI

NOTES

0 600 1,200 1,800 m



SCALE: 1:40000  
 EPSG:3005 (NAD83 / BC Albers)





PROJECT KASLO NORTH CROWN LAND

SHEET SITE PLAN



**Legend**

- Tenure Area
- Base Layers**
- RDCK Cadastre
- RDCK Lakes and Rivers
- RDCK Streams
- Ministry of Transportation (MOT)  
Road Features Inventory (RFI)**
- Highway (O)
- Easement (E)
- Notional (N)
- Pedestrian Notional (P)

DATE 2026-02-05

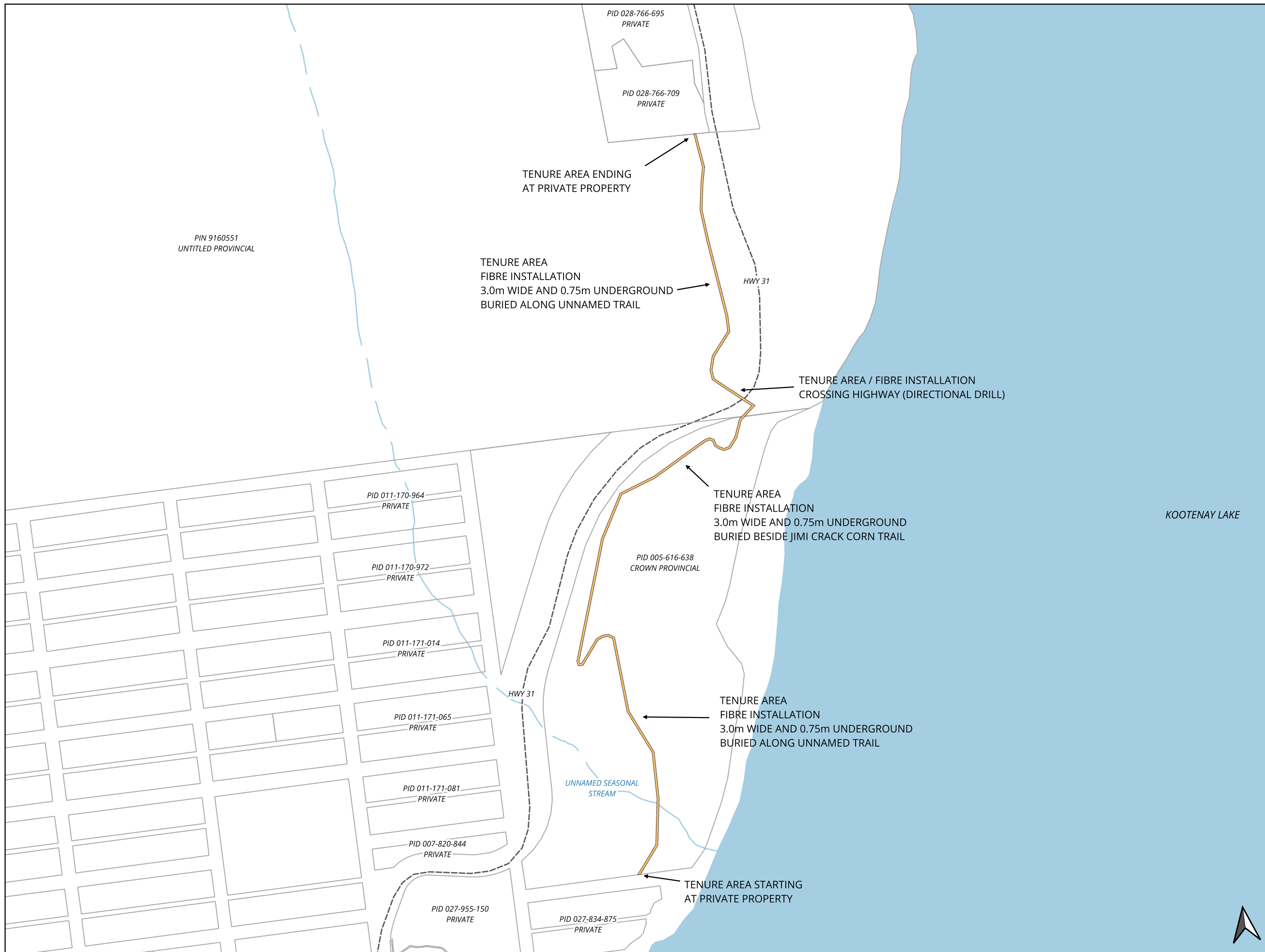
AUTHOR MARCO DEBORTOLI

NOTES

0 80 160 240 m



SCALE: 1:5000  
 EPSG:3005 (NAD83 / BC Albers)





# Kaslo infoNet Society



#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

PROJECT KASLO NORTH CROWN LAND

SHEET SITE PLAN



## Legend

Tenure Area

### Base Layers

RDCK Cadastre

ESRI Imagery

Canadian Reference

DATE 2026-02-05

AUTHOR MARCO DEBORTOLI

NOTES

0 80 160 240 m



SCALE: 1:5000  
 EPSG:3005 (NAD83 / BC Albers)

## APPENDIX D – LOCATION PHOTOS

License of Occupation (Crown Land) Application – Kaslo North  
February 5, 2026

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Photo 1 – West Side – Ending Location



Photo 2 – West Side – Along Unnamed Trail



Photo 3 – West Side – Highway Crossing Location



Photo 4 – East Side – Highway Crossing Location



Photo 5 – East Side – Along Jimi Crack Corn Trail



Photo 6 – East Side – Along Unnamed Trail

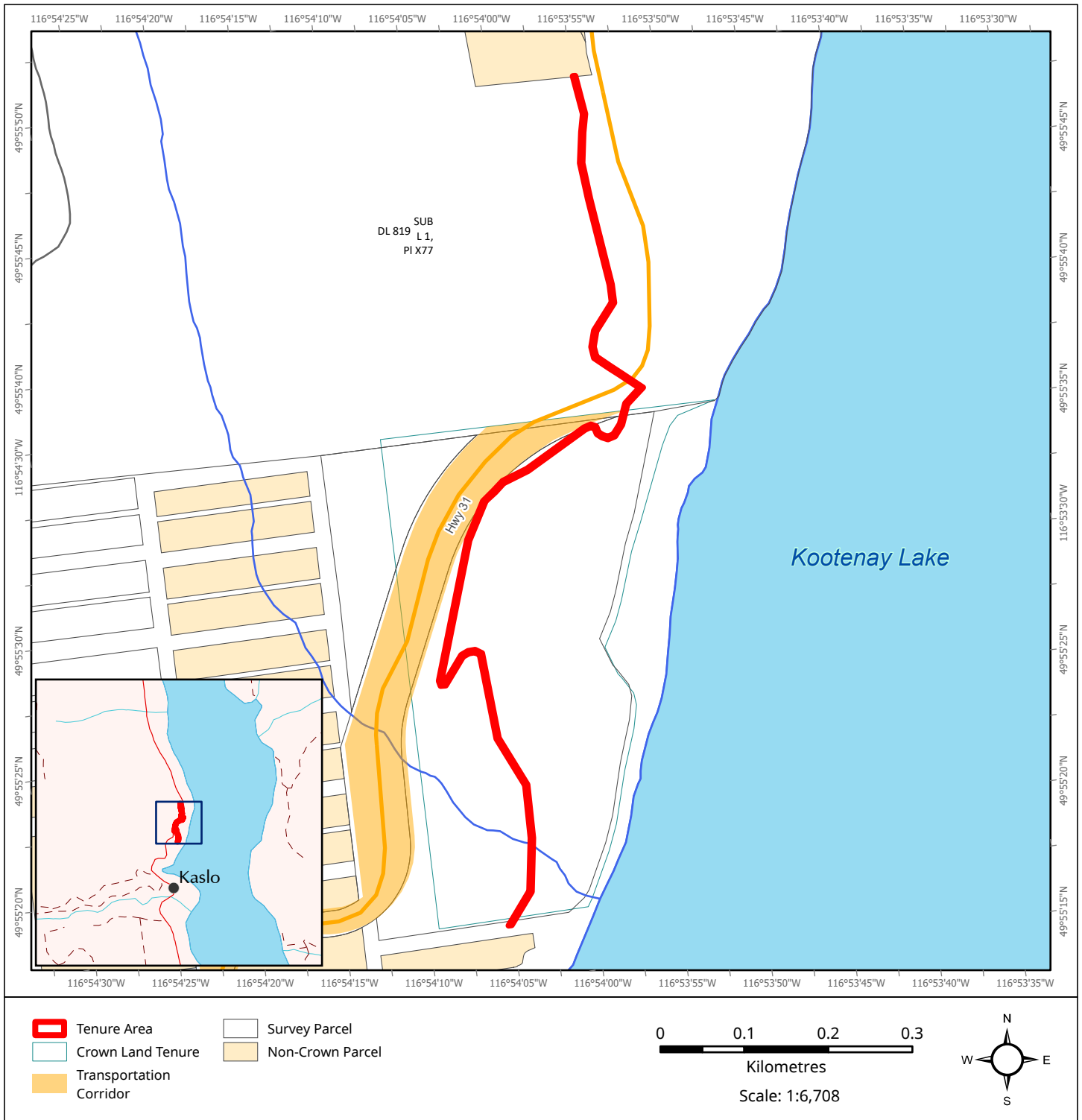




Photo 7 – East Side – Starting Location



All those unsurveyed portions of (1) District Lot 431; (2) District Lot 819; (3) Sub Lot 1, District Lot 819; Kootenay District, Plan X77 and containing 0.39 hectares, more or less



Type: LICENCE  
 Subtype: LICENCE OF OCCUPATION  
 Purpose: UTILITY  
 Subpurpose: TELECOMMUNICATION LINE




Area:  
 0.39 ha +/-  
 BCGS Mapsheet(s):  
 82F.096

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 www.rdck.bc.ca  
maps@rdck.bc.ca

## Legend

-  PolyStyle00
-  Place Names
-  Electoral Areas

## Map Scale:

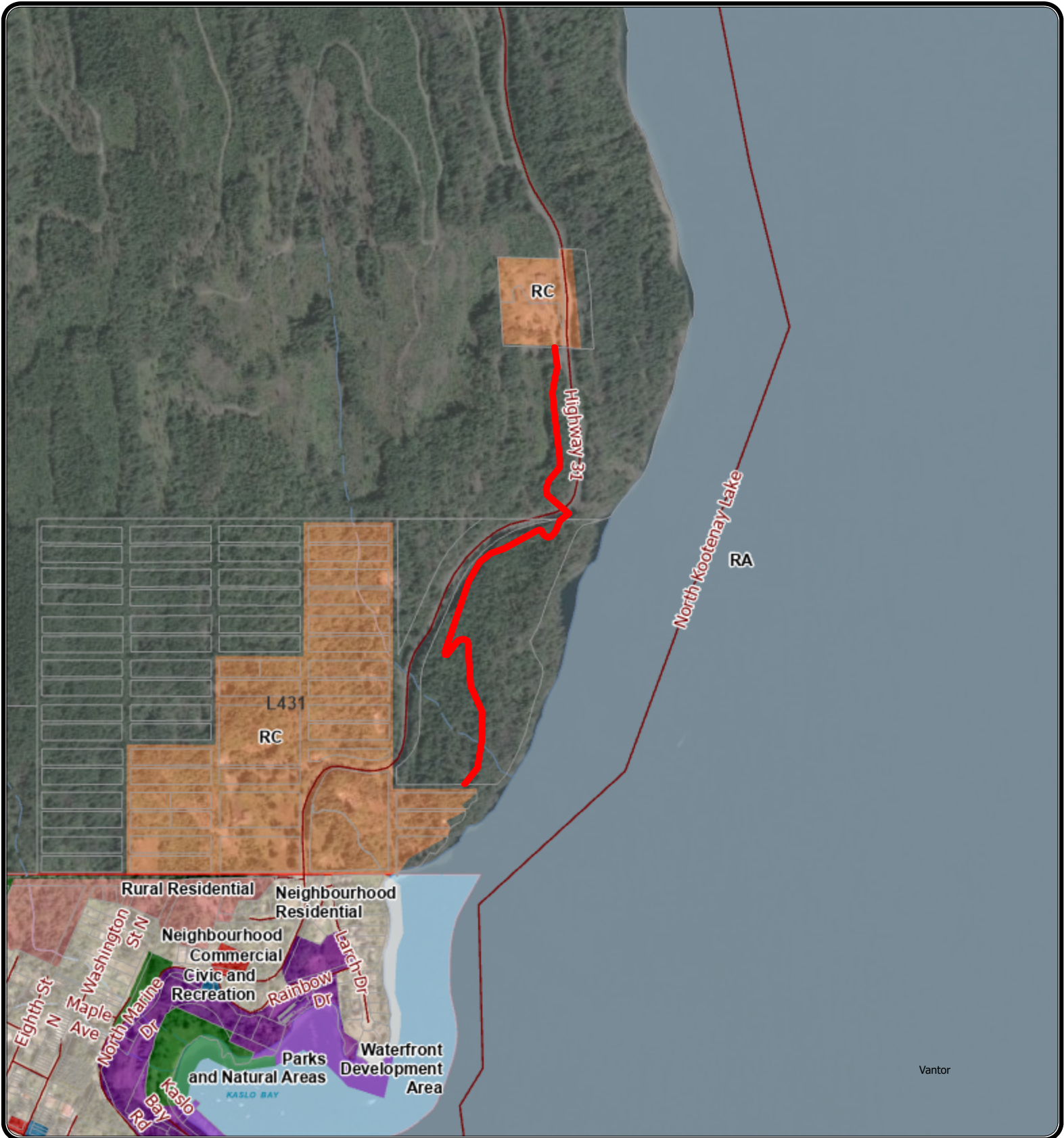
1:36,112

Date: April 27, 2026



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
 Box 590, 202 Lakeside Drive,  
 Nelson, BC V1L 5R4  
 Phone: 1-800-268-7325 www.rdck.bc.ca  
 maps@rdck.bc.ca

### Legend

- PolyStyle00
- Resource Area
- Rural Residential
- Suburban Residential
- Streams and Shorelines
- Lakes and Rivers
- Commercial
- Community Services
- Comprehensive Development
- Country Residential
- Parks and Recreation
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

## Official Community Plan

### Map Scale:

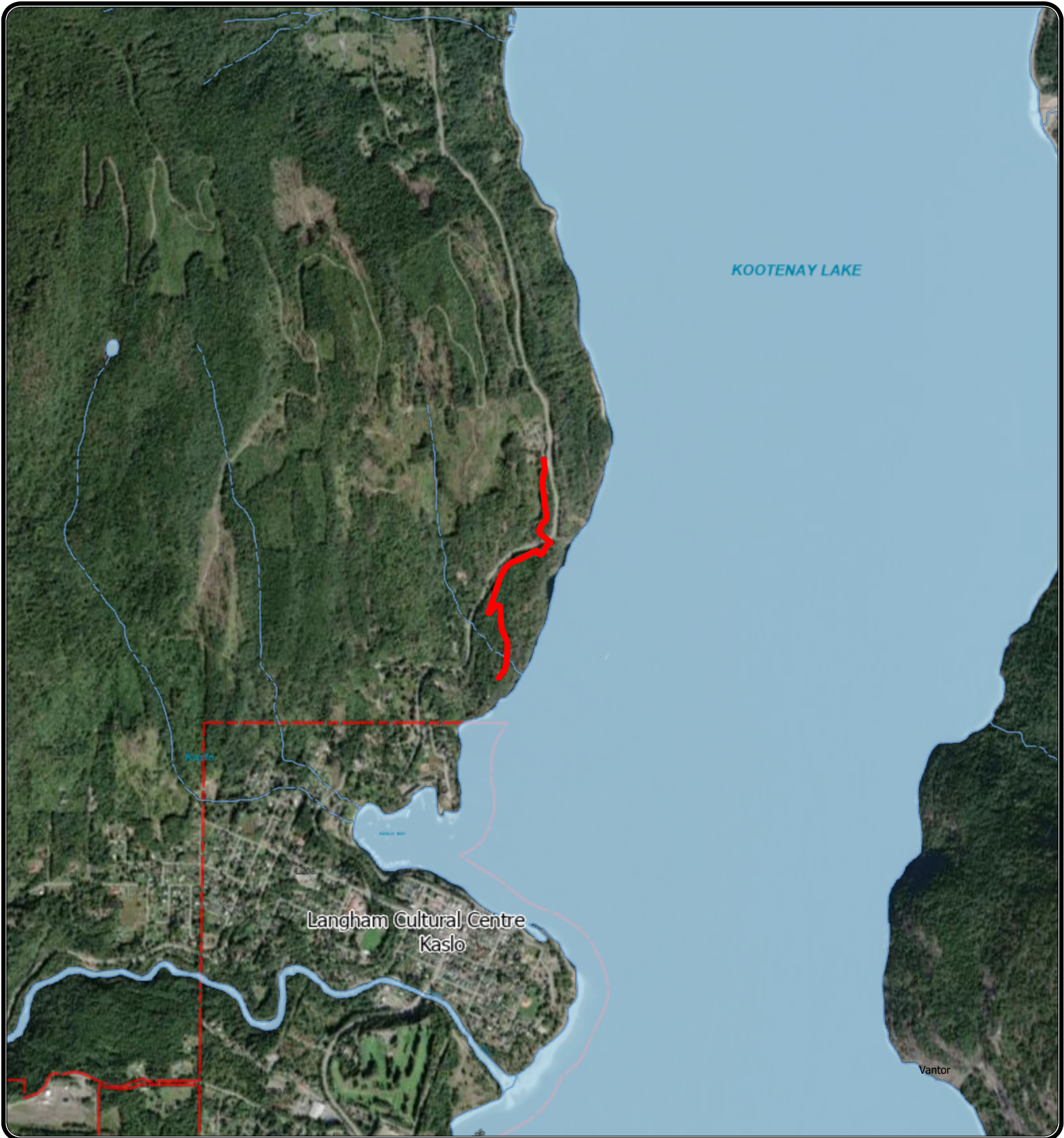
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Date: April 27, 2026








The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 [www.rdck.bc.ca](http://www.rdck.bc.ca)  
[maps@rdck.bc.ca](mailto:maps@rdck.bc.ca)

## Legend

-  PolyStyle00
-  Streams and Shorelines
-  Lakes and Rivers
-  Place Names
-  Electoral Areas

## Map Scale:

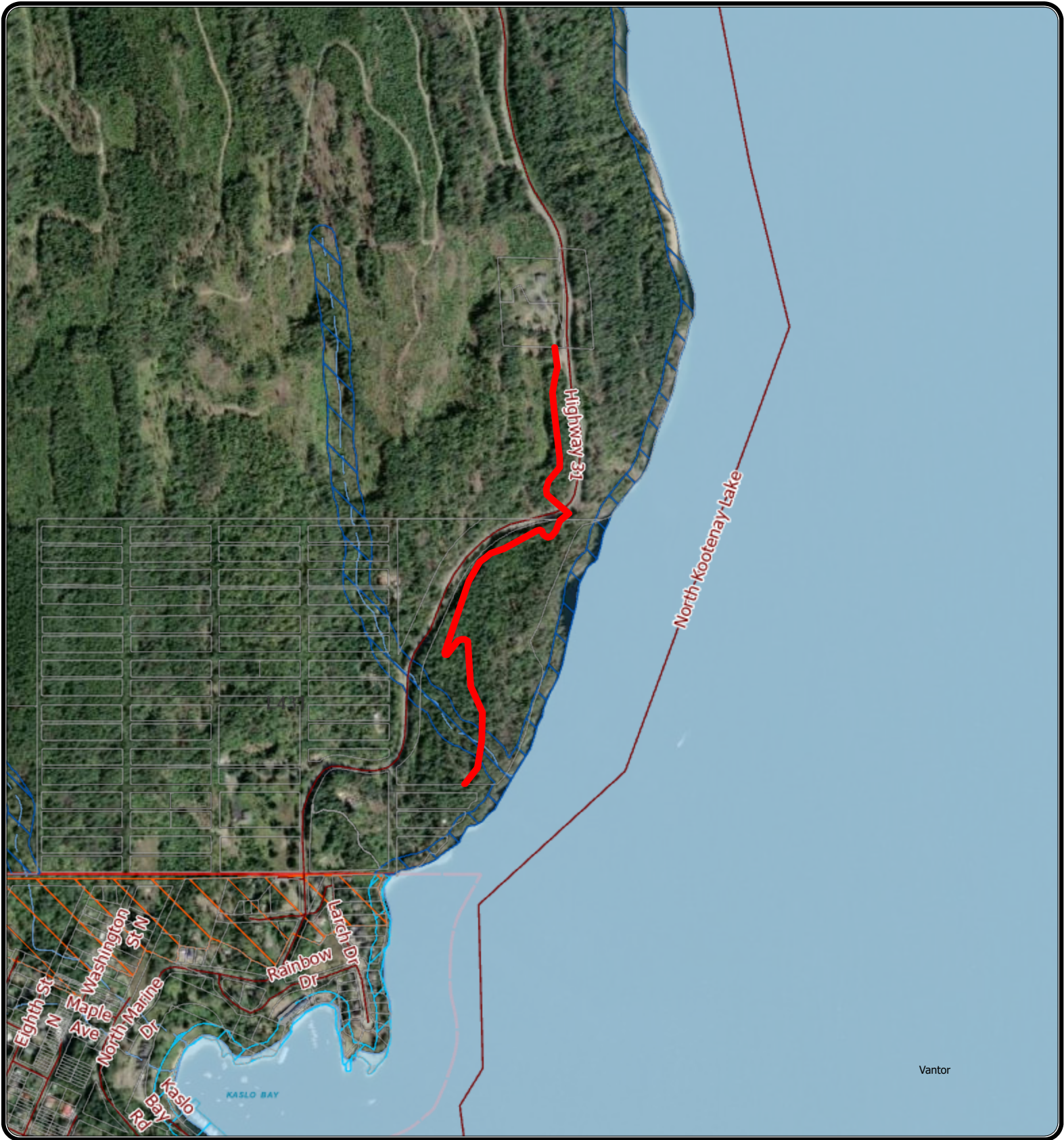
1:36,112

Date: April 27, 2026



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# RDCK Map



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 Box 590, 202 Lakeside Drive,  
 Nelson, BC V1L 5R4  
 Phone: 1-800-268-7325 www.rdck.bc.ca  
 maps@rdck.bc.ca

### Legend

- PolyStyle00
- ▭ Kaslo - Wildfire Protection
- Streams and Shorelines
- ▭ Lakes and Rivers
- ▭ Electoral Areas
- RDCK Streets
- ▭ Cadastre - Property Lines
- ▭ Watercourse
- ▭ Kaslo - Lakefront Protection

### Map Scale:

1:18,056

Date: April 27, 2026



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# RDCK Map












Vantor



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
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 Phone: 1-800-268-7325 www.rdck.bc.ca  
 maps@rdck.bc.ca

## Legend

-  PolyStyle00
-  Parks and Rec
-  Trails
-  Water Front Access
-  Streams and Shorelines
-  Lakes and Rivers
-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines

## Map Scale:

1:18,056

Date: April 27, 2026



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.



# Crown Land Tenure Application

Tracking Number: 100495533

## Applicant Information

If approved, will the authorization be issued to an Individual or Company/Organization/Government?  
What is your relationship to the Company/Organization/Government?

Company/Organization/Government

Employee

## REFERRAL / PUBLIC COMMENT CONTACT INFORMATION

**Company/Organization/Government:** KASLO INFONET SOCIETY  
**Contact Name:** Marco DeBortoli  
**Contact Address:** PO Box 1081  
Kaslo British Columbia V0G 1M0  
Canada  
**Contact Phone:** 250-353-2305  
**Contact Email:** mdebortoli@kin.bc.ca

## APPLICANT COMPANY / ORGANIZATION CONTACT INFORMATION

Please enter the contact information of the Individual/Organization who is acting on behalf of the applicant.

**Name:** KASLO INFONET SOCIETY  
**Doing Business As:**  
**Phone:** 250-353-2305  
**Fax:**  
**Email:** support@kin.bc.ca  
**BC Incorporation Number:**  
**Extra Provincial Inc. No:**  
**Society Number:**  
**GST Registration Number:**  
**Contact Name:** Marco DeBortoli  
**Mailing Address:** PO Box 1081  
Kaslo British Columbia V0G 1M0  
Canada

## CORRESPONDENCE E-MAIL ADDRESS

If you would like to receive correspondence at a different email address than shown above, please provide the correspondence email address here. If left blank, all correspondence will be sent to the above given email address.

**Email:** mdebortoli@kin.bc.ca  
**Contact Name:** Marco DeBortoli

## ELIGIBILITY

Question	Answer	Warning
Do all applicants and co-applicants meet the eligibility criteria for the appropriate category as listed below?  Applicants and/or co-applicants who are Individuals must: 1. Be 19 years of age or older and 2. Must be Canadian Citizens or permanent residents of Canada (Except if you are applying for an aquatic tenure adjacent to privately owned upland)  Applicants and/or co-applicants who are Organizations must	Yes	

either:

1. Be incorporated or registered in British Columbia (Corporations also include registered partnerships, cooperatives, and non-profit societies which are formed under the relevant Provincial statutes) or
2. First Nations who can apply through Band corporations or Indian Band and Tribal Councils (Band or Tribal Councils require a Band Council Resolution).

---

**Is your application for a government funded Connectivity Project? (i.e., high-speed internet, cellular, other)**

Yes

To proceed with this application as identified, please provide the following required information in the 'Explanation' box below:

1. Project Name:

This should be a consistent title for the project to be referred to throughout the agency review period.

2. Funding Project Number:

Usually 4-6 digits (eg. 7152 or 010033), as assigned through Connecting Communities BC (CCBC) or Northern Development Initiative Trust (NDIT) or other official funding programs.

3. Please identify any additional provincial applications for permits/authorizations associated with this specific Connectivity project by providing any tracking/file number(s).

For example, vFCBC Tracking Number(s), Crown Land file number(s), Ministry of Transportation and Infrastructure, Forestry, or other provincial natural resource file number. This information will help facilitate the coordinated and efficient multi authorization review (i.e. roadways, BC Hydro infrastructure, etc.).

If you have any questions regarding the above information requirements, please contact [citz.networkbcpermitting@gov.bc.ca](mailto:citz.networkbcpermitting@gov.bc.ca)

---

**Is this application in relation to increasing the supply of housing units within British Columbia?**

No

**A Housing related project, for the purpose of this application, must be for a specific development and the development must increase the number of housing units on the land/property.**

---

**Is this application related to a BC Hydro Sustainment Project required for the maintenance and upgrading of existing electricity infrastructure, such as replacing aging**

No

equipment, improving transmission systems, or reinforcing substations to support long-term energy needs?

Is this application to support wind, solar, oil or gas activities? No

Explanation for eligibility despite warnings:

Project Name: CCBC-010033 - Kootenay Lake Fibre  
Funded Project Number: CCBC #010033  
Additional Provincial Permits:  
- License of Occupation: Lands File #4405896  
- Changes In and About a Stream Change Approval: File #4008481  
- License of Occupation Application: vFCBC Tracking Number: 100493730

## TECHNICAL INFORMATION

Please provide us with the following general information about you and your application:

### EXISTING TENURE DETAILS

Do you hold another Crown Land Tenure?

Yes

Please specify your file number:

4405896, others

If you have several file numbers, please make a note of at least one of them above. Example numbers: 1234567, 153245, others

### ALL SEASONS RESORTS

The All Seasons Resorts Program serves to support the development of Alpine Ski and non-ski resorts on Crown land. For more detailed information on this program, please see the operational policy. If you have further questions, please contact FrontCounter BC.

Are you applying within an alpine ski resort? No

### WHAT IS YOUR INTENDED USE OF CROWN LAND?

Use the "Add Purpose" button to select a proposed land use from the drop down menu.

In some situations, such as short-term, low-impact use of Crown land or docks/moorage that meet specific criteria, Crown land use is allowed without needing to apply for authorization. Some examples are uses listed within the Land Use Policy - Permissions and, for docks/moorage, within the Private Moorage policy.

For all application types, you should review the Land Use Policy that describes your intended use of Crown land to determine if your activity is permissible under the Land Act.

**Purpose**

**Tenure**

**Period**

Utilities

Licence of Occupation

Ten to thirty years

Telecommunication Line

### ACCESS TO CROWN LAND

Please describe how you plan to access your proposed crown land from the closest public road:

The project will not require the creation of any new roads or connections to access the tenure area. The tenure area can be accessed by water (on Kootenay Lake) from Kaslo Bay. Section 3.2 of the provided Management Plan provides more detail regarding access, including pictures and plans.

### UTILITIES

Applications are accepted for Crown land used for linear public and private utilities, including aquatic land within Provincial Forests and land subject to regulation under the Park Act.

Specific Purpose:

Telecommunication Line

**Period:** Ten to thirty years  
**Tenure:** Licence of Occupation

### TOTAL APPLICATION AREA

Please give us some information on the size of the area you are applying for.

**Specify Length:** 1782 meters  
**Specify Width:** 3 meters

### PROJECT DETAILS

Please provide further information on your application as it may affect your application fee.

**Are you providing service to a single residential lot or individual general commercial site?** No

**Length of utility line:** 1.782 kilometers

### ADDITIONAL QUESTIONS

In many cases, you might require other authorizations or permits in order to complete your project. In order to make that determination and point you in the right direction, please answer the questions below. In addition, your application may be referred to other agencies for comments.

**Is the Applicant or any Co-Applicant or their Spouse(s) an employee of the Provincial Government of British Columbia?** No

**Are you planning to cut timber on the Crown Land you are applying for?** No

**Are you planning to use an open fire to burn timber or other materials?** No

**Do you want to transport heavy equipment or materials on an existing forest road?** No

**Are you planning to work in or around water?** Yes

1. If you are working in or around fresh water apply for a Change Approval or Notification under the provincial Water Sustainability Act..
2. Fisheries and Oceans Canada may need to review your project as it relates to fish and fish habitat or under the modernized Fisheries Act.
3. Review the Transport Canada website to see if the Canadian Navigable Waters Act.

**Does your operation fall within a park area?** No

### LOCATION INFORMATION

### DRAWINGS

Please provide information on the location and shape of your Crown land application area. You can use one or more of the tools provided.

I will upload a PDF, JPG or other digital file(s)

### MAP FILES

Your PDF, JPG or other digital file must show your application area in relation to nearby communities, highways, railways or other land marks.

Description	Filename	Purpose
Mapping showing the general location of the	Appendix A - General Area.pdf	Utilities

Crown land for context and overview

Site plan mapping showing the proposed tenure area at high resolution      Appendix B - Site Plan.pdf      Utilities

I will upload files created from a Geographic Information System (GIS)

**SPATIAL FILES**

Do you have a spatial file from your GIS system? You can upload it here.

NOTE: Shapefile is the preferred format and requires a closed polygon, projection in BC Albers/NAD 83 and the .dbf, .shp, .shx and .prj files.

Other Commonly Used Spatial File Formats may also be submitted.

Description	Filename	Purpose
GIS file with the requested tenure area polygon layer	KiN - Campbell Creek - Tenure Area.kml	Utilities

**ATTACHED DOCUMENTS**

Document Type	Description	Filename
General Location Map	General location mapping showing the location of the Crown land for context and overview	Appendix A - General Area.pdf
Management Plan	Management plan outlining details about the proposed project and tenure area	KiN - Management Plan - Cam...
Other	GIS file with tenure area polygon	KiN - Campbell Creek - Tenu...
Other	Mapping showing nearby tenures and conservation areas	Appendix C - Other Tenures.pdf
Other	Photos of the tenure area	Appendix D - Location Photo...
Site Plan	Site plan mapping showing the tenure area at high resolution	Appendix B - Site Plan.pdf

**PRIVACY DECLARATION**

Check here to indicate that you have read and agree to the privacy declaration stated above.

**IMPORTANT NOTICES**

- Once you click 'Next' the application will be locked down and you will NOT be able to edit it any more.

**DECLARATION**

I declare that the information contained on this form is complete and accurate.

**APPLICATION AND ASSOCIATED FEES**

Item	Amount	Taxes	Total	Outstanding Balance
------	--------	-------	-------	---------------------



# MANAGEMENT PLAN

License of Occupation (Crown Land) Application – Campbell Creek  
 January 13, 2026

## Version Control

Version	Date	Status	Author	Changes
1.0	2026-01-13	Published	<a href="#">Marco DeBortoli</a>	Initial application

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- Appendix B – Site Plan*
- Appendix C – Other Tenures*
- Appendix D – Location Photos*

## 1.0 Background

---

### 1.1 Project Overview

#### 1.1.1 Kaslo infoNet Society

Kaslo infoNet Society (abbrev. KiN) is an internet service provider that has provided fibre-optic and wireless internet to residents in Kaslo and RDCK Area D for the past decade. As a local non-profit, Kaslo infoNet Society’s mission is to provide internet connectivity to the small underserved communities in the Kootenay Lake area that currently don’t have access to reliable high-speed internet service.

Kaslo infoNet Society accomplishes this mission by constructing and operating its own fibre-to-the-home internet network throughout the area. The backbone for the fibre network is typically installed within the Ministry of Transportation and Transit (MoTT) highway right-of-way, but there are situations when Kaslo infoNet Society needs to install the infrastructure on Crown land with the permission of the Ministry of Water, Land and Resource Stewardship (WLRS).

#### 1.1.2 Funded Connectivity Project

Kaslo infoNet Society has an ongoing funded connectivity project provided by Connecting Communities BC (CCBC #010033) to help expand its Kootenay Lake fibre backbone and provide high-speed internet service to four remote communities. The project will also add redundancy and resiliency to the Kaslo infoNet Society fibre network.

One of the communities included in the funded project is Campbell Creek, which is a boat access only community on the east side of Kootenay Lake that currently does not have access to high-speed internet service. The project provides funding to bring high-speed fibre internet to the community. Figure 1 below shows the project area from the Connecting Communities BC Statement of Work.

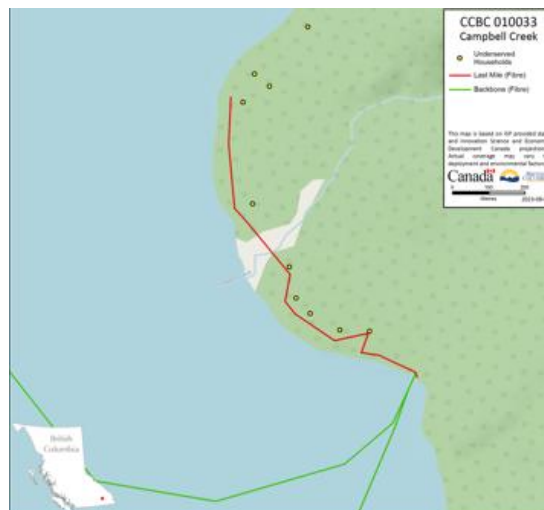


Figure 1 - Relevant CCBC-010033 Statement of Work Project Area (Campbell Creek)

### 1.1.3 License of Occupation

As part of the funded connectivity project, Kaslo infoNet Society is seeking a License of Occupation from the BC Ministry of Water, Land and Resource Stewardship to install buried telecommunication utilities (fibre internet) on 1.78km of Crown land located in the Regional District of Central Kootenay community of Campbell Creek. The tenure area is split into two sections:

1. Following the Kootenay Lake foreshore north from an existing lake landing at the south end of the Campbell Creek community, with service lines for eight potential households
2. Following the Kootenay Lake foreshore south from a new lake landing at the north end of the Campbell Creek community, with service lines for nine potential households

More details about the location of the proposed tenure can be found in Section 2 of this plan.

### 1.1.4 Land Use Overview

Kaslo infoNet Society is proposing to use the requested Crown land to install buried fibre-optic internet infrastructure. The installed infrastructure will be used to connect Kaslo infoNet Society's existing submarine fibre network to the households in the Campbell Creek community. Once connected, Kaslo infoNet Society will be able to offer high-speed and reliable internet service to Campbell Creek.

The first phase of the project will involve the construction work required to install the buried fibre infrastructure within the tenure area. It is expected that the construction phase will take approximately one month to complete. The work encompassed during the construction phase is summarized below:

- For the tenure area on the Kootenay Lake foreshore, Kaslo infoNet Society will bury the infrastructure in a 0.20m wide by 0.75m deep trench
- For the tenure area extending from the Kootenay Lake foreshore to the service endpoints (households), Kaslo infoNet Society will bury the infrastructure in a 0.20m wide by 0.75m deep trench
- Any trenches that are created to bury the infrastructure will be filled back in using the same substrate that is removed during the excavating
- There will be no above ground infrastructure within the tenure area once the construction is completed

In total around 1.78km of fibre internet infrastructure will be installed in the tenure area during the construction phase. Additional technical details about Kaslo infoNet Society's construction process, as well as details about the fibre infrastructure can be found in Section 3 of this management plan.

The second phase involves the operation and maintenance of the installed infrastructure. Fibre internet infrastructure is passive, which means that it does not carry an electrical current or any liquid. It can also operate without any additional utilities or human intervention. Therefore, this phase (which constitutes the majority of the requested License of Occupation) does not involve regular access to the tenure area. The infrastructure will only be accessed in the rare circumstance that a repair needs to be made.



This management plan goes into additional detail about the project including: details about proposed location, construction process and installed infrastructure, potential wildlife and environmental impacts, and potential socio-community impacts.

## 1.2 Investigative Work

Kaslo infoNet Society has not performed any technical investigative work in the proposed tenure area beyond visual exploration using satellite imagery and mapping, local knowledge and an on-site visual inspection of the Crown Land with environmental and archaeological consultants.

## 1.3 First Nations

Kaslo infoNet Society has worked closely with first nations groups and archaeologists on prior Crown land projects, and is aware of the potential impacts of any ground disturbance caused by its construction practices.

The project manager and construction crew will be made aware that archaeological remains predating AD 1846 and sites containing rock art or human burials are automatically protected in BC from disturbance, both intentional and inadvertent, by the Heritage Conservation Act.

In the event that any pre-contact cultural material is encountered or suspected to have been exposed during the construction phase all ground disturbance in the immediate vicinity of the suspected find(s) will be suspended at once and the Ministry of Forest, Lands and Natural Resource Operations, Archaeology Branch will be informed as soon as possible of the location of the archaeological remains and the nature of the disturbance.



## 2.0 Location

---

### 2.1 General Description

#### 2.1.1 Location Overview

Kaslo infoNet Society is seeking a License of Occupation for a section of Crown land approximately 1782m (1.78km) long by 3m wide. The tenure area includes the following components:

##### Buried Fibre Segments

1. Campbell Bay Buried Segment – buried 0.75m underground along the Kootenay Lake foreshore between the Campbell Bay Lake Landing Vault [49.950492, -116.863707] and Campbell Creek [49.945684, -116.867353]
  - a. This segment includes nine potential service lines which will be buried at a depth of 0.75m between the foreshore and the private properties
  - b. The Campbell Bay Lake Landing Vault is not currently constructed, and is being applied for in a separate License of Occupation (vFCBC Tracking Number: #100493730)
2. South Campbell Buried Segment – buried 0.75m underground along the Kootenay Lake foreshore between the Campbell Creek Lake Landing Vault [49.941132, -116.860966] and Campbell Creek [49.943615, -116.866456]
  - a. This segment includes eight potential service lines which will be buried at a depth of 0.75m between the foreshore and the private properties
  - b. The Campbell Creek Lake Landing Vault has already been constructed and was authorized under another License of Occupation (Lands File #4405896)

Photos of the tenure area can be found in *Appendix D*, and additional details about each component above can be found later in this Management Plan.

#### 2.1.2 GPS Coordinates

GPS coordinates delineating the tenure area can be found in Table 1 below.

#	Name	Latitude	Longitude	Notes
<b>Campbell Bay Buried Segment</b>				
1	Main Line Start (Fibre Vault)	49.950492	-116.863707	Vault location on foreshore
2	Main Line End	49.945684	-116.867353	Ending location along foreshore (north of Campbell Creek)
3	Service Endpoint #1	49.949960	-116.863822	
4	Service Endpoint #2	49.949587	-116.864534	
5	Service Endpoint #3	49.949533	-116.865130	
6	Service Endpoint #4	49.949277	-116.865376	
7	Service Endpoint #5	49.949079	-116.865651	



8	Service Endpoint #6	49.948621	-116.866416	
9	Service Endpoint #7	49.948137	-116.866760	
10	Service Endpoint #8	49.946896	-116.867262	
11	Service Endpoint #9	49.945702	-116.867067	
<b>South Campbell Buried Segment</b>				
1	Main Line Start (Fibre Vault)	49.941132	-116.860966	Vault location on foreshore
2	Main Line End	49.943615	-116.866456	Ending location along foreshore (south of Campbell Creek)
3	Service Endpoint #1	49.941453	-116.861290	
4	Service Endpoint #2	49.941756	-116.861962	
5	Service Endpoint #3	49.942095	-116.862770	
6	Service Endpoint #4	49.942364	-116.863435	
7	Service Endpoint #5	49.942381	-116.863612	
8	Service Endpoint #6	49.942942	-116.864791	
9	Service Endpoint #7	49.943444	-116.865281	
10	Service Endpoint #8	49.944017	-116.865944	

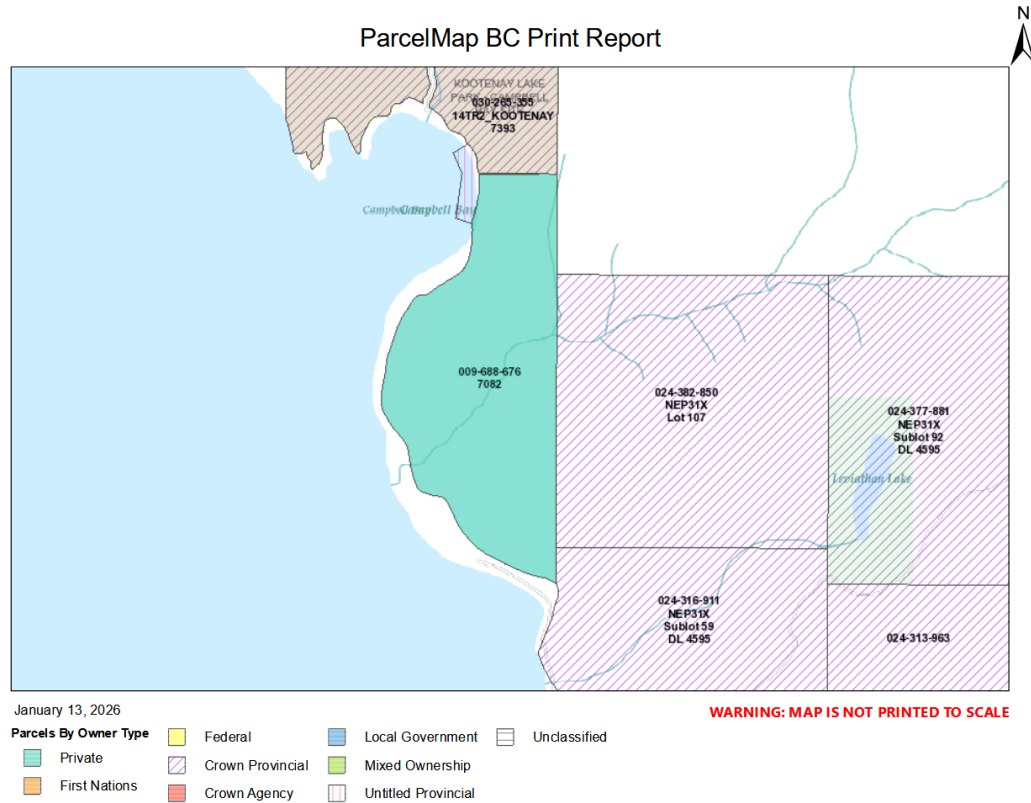
Table 1 - GPS Coordinates for Proposed Tenure Area

### 2.1.3 Parcels of Interest

The proposed tenure area does not cross any titled parcels, however there are several parcels of interest that border or are nearby to the proposed tenure area. Data from ParcelMap BC for the parcels of interest are included in Table 2 below, as well as a print report showing the parcels in Figure 2.

#	Parcel Identifier (PID)	Identification Number (PIN)	Owner Type	RDCK Name
<b>Tenure Borders Parcel – See Section 5.2.1 for more details</b>				
1	009-688-676	8680570	Private	7733 North Kootenay Lake Campbell Creek Community
2	-	9389360	Untitled Provincial	-
3	024-382-820	-	Crown Provincial	-
4	024-316-911	-	Crown Provincial	-

Table 2 - Relevant Tenure Area Parcels



*Figure 2 - ParcelMap BC Print Report Showing Relevant Parcels*

### 2.1.4 Conservation Areas

There are no conservation areas close to the proposed tenure area. There is one provincial park just north of the tenure area: Kootenay Lake Park – Campbell Bay Site.

### 2.1.5 Mapping

Provided alongside this application are three sets of maps (in PDF format) which describe the location and the proposed tenure area in more detail:

1. *Appendix A – General Area* – overview mapping showing the area of interest in the West Kootenay district of British Columbia
2. *Appendix B – Site Plan* – in-depth mapping showing the tenure area with nearby geographical features, transportation layers, infrastructure and parcels
3. *Appendix C – Other Tenures* – mapping showing the requested tenure area with nearby active Crown land tenures, as well as conservation areas
  - a. Active tenures were retrieved using the following BC Data Catalogue data source:  
<https://catalogue.data.gov.bc.ca/dataset/589cb979-731f-4151-bb2b-10ed66278099>
  - b. Active conservation areas were retrieved using the following BC Data Catalogue source:  
<https://catalogue.data.gov.bc.ca/dataset/68327529-c0d5-4fcb-b84e-f8d98a7f8612>



- c. Active provincial parks and protected areas were retrieved using the following BC Data Catalogue source: <https://catalogue.data.gov.bc.ca/dataset/bc-parks-ecological-reserves-and-protected-areas>

The tenure area polygon is also provided as a KML file alongside this management plan.

## 2.2 Location Justification

The proposed tenure area was chosen for several reasons, which are listed below:

- Kaslo infoNet Society has already constructed a submarine fibre network to Campbell Creek under Lands File #4405896, but still needs to construct a terrestrial fibre network in the community in order to offer internet service to the residents
  - The Campbell Creek network is being constructed as part of a funded connectivity project provided by Connecting Communities BC (CCBC)
- There are no MoTT roads or other right-of-ways within the Campbell Creek community, so fibre installation along the Kootenay Lake foreshore (Crown land) is the only option
- Construction along the Kootenay Lake foreshore means timber clearing will not be required, as the area is naturally clear of vegetation
- Kaslo infoNet Society has extensive experience installing fibre infrastructure along the Kootenay Lake foreshore, including constructing over a dozen lake landings in 2025
  - Kaslo infoNet Society already has an excavator equipped with environmentally friendly hydraulic oil for environmentally sensitive construction
- Access to the proposed tenure area is convenient due to easy boat and barge access from Kootenay Lake

## 2.3 Seasonal Expectations of Use

Table 3 below shows the times of the year that Kaslo infoNet Society is proposing to use the tenure area.

Project Activity	Description	Season / Timing
Construction	Involves the installation of fibre internet infrastructure underground in a 0.20m wide by 0.75m deep trench	One month in Summer 2026
Operations / Maintenance	Once constructed, the fibre infrastructure operates underground independently without direct intervention  Maintenance should not be required, and if needed only takes one or two days for repair with no heavy equipment	Year round

*Table 3 - Seasonal Expectations of Use*

## 2.4 Historical Use

The proposed tenure area does not overlap any titled parcels, so the historical use cannot be determined from available sources. Since the tenure area is primarily on the Kootenay Lake foreshore, it is unlikely that the area was used for anything permanent historically. The area appears to be used for recreational purposes (by the local residents), and there is a small marina to the southeast of the tenure area.

The Government of BC GATOR system was accessed to determine the historical use for the Private parcel immediately adjacent to the tenure area (PIN 8680570). The GATOR Consolidated Parcel Interest Report is included in Figure 3 below.

GATOR Consolidated Parcel Interest Report										
Search Criteria: Primary PIN: 8680570, Tenure History: On										
Date Created: 13-Jan-2026										
Created By: GATOR										
Pin Id: 8680570										
Tenure History: On <input type="button" value="Enable"/> <input type="button" value="Disable"/>										
Primary Parcel										
PIN	Subdiv	RoW	Legal Description				Area (Ha)	Status	Confirmed	LT Office
8680570			DISTRICT LOT 7082, KOOTENAY DISTRICT					Active	15-Jun-1905	
Interest Summary										
PIN	Tantalis ID	File #	Document #	Interest	Sur/Under	Effective Date	Location	Status	Area (Ha)	
8680570	164			Map Note					0	
8680570	951577	4406537	R254003	Reserve/Notation		01-Sep-2025	Duncan Lake to the Moyie River	Active	368714.04	
8680570	886334	4404886		A/Reserve/Notation		18-May-2010	Kootenay Lake	Inactive	11825	
8680570	873864	4404886	R094006	Reserve/Notation		28-Apr-2008	Kootenay Lake	Inactive	11825	
8680570	8447	0000000	1727/588	Crown Grant	Unknown	29-May-1931	UNKNOWN	Active	42.9	
8680570	24045			Reversion	S	10-Dec-1925		ABSOLUTE	0	
8680570	65304	0000000	1204/179	Crown Grant	Unknown	02-Apr-1906	KOOTENAY	Inactive	42.9	

Figure 3 - GATOR Consolidated Parcel Interest Report

The only relevant interest is Lands File #4406537, which is a Section 17 Designated Use Area that covers the entire east shore of Kootenay Lake (368714.04 Ha). More details about relevant active tenures and current land use in the proposed tenure area can be found in Section 5.1 (Land Use) of this application.

### 3.0 Infrastructure

#### 3.1 Facilities or Infrastructure

The proposed tenure area will be used by Kaslo infoNet Society to install new fibre internet utility infrastructure. In order to provide maximum protection from damage, Kaslo infoNet Society will bury the fibre internet infrastructure and equipment underground.

Infrastructure	Construction Methods / Materials	Construction Schedule	Long Term Planning
Fibre internet infrastructure (telecommunications utility)	Buried underground in narrow trenches  See subsection 3.1.1 and subsection 3.1.2 for additional details about materials and methods	Construction takes one month. Planned for Summer 2026.	See subsection 3.1.3 for additional details

*Table 4 - Facilities or Infrastructure Installed in Proposed Tenure Area*

##### 3.1.1 Materials and Facilities

Due to the short distances involved in the tenure area (less than 100km), Kaslo infoNet Society will not need to install any new above ground facilities as part of the fibre internet infrastructure installation. All the infrastructure can be buried underground and can be operated passively from fibre distribution facilities in Kaslo.

There are only three materials that will be installed as part of the project, which are detailed in Table 5 below.

Material	Location	Details
Fibre Cables	Buried	Fibre cables consist of a bundle of glass tubes (strands) which are used to transfer telecommunication signals using light <ol style="list-style-type: none"> <li>1. The glass strands are wrapped in protective materials such as a hard plastic outer covering and strength members in order to protect the fragile glass from damage</li> <li>2. Fibre cables are often denoted by the number of glass strands within the cable (such as 12 or 24). Kaslo infoNet Society generally uses low count fibre (up to 144 strands) which has an outer diameter of less than 10mm</li> <li>3. Importantly, the fibre cables that Kaslo infoNet Society uses are inert and passive, meaning that they do not carry an electrical signal and do not require power (or</li> </ol>

		<p>other utilities) to operate. The cable simply operates as a medium to transport the light</p> <p>4. Kaslo infoNet Society uses “direct bury” fibre cables, which can be buried underground without additional protective measures (such as conduit)</p>
Conduit (HDPE)	Buried	<p>In some cases, direct buried fibre cables require additional protection – such as cases where the cable crosses a road with heavy vehicles or high traffic volume. In those cases, the fibre is placed inside a hard PVC plastic conduit to offer superior protection. Conduit is also used when performing trenchless installation methods such as boring.</p> <p>While the current plan does not call for the use of conduit, the construction team may choose to install it should the conditions on the ground warrant the need.</p>
Splice Cases	Buried	<p>In order to provide service to a single customer, the higher count fibre cables are broken apart and split into lower count fibre cables. To connect the lower count fibre cables to the higher count fibre cables, a process known as splicing is used. Splicing involves fusing the glass strands together using high temperatures in order to create a physical connection that the transmitted light can use to transfer from one cable to the other. The connection can be fragile, so splice cases are used by Kaslo infoNet Society to house the splices and provide additional protection.</p>
Marking Tape	Buried	<p>In order to easier locate the buried infrastructure in the future, Kaslo infoNet Society buries metallic marking tape alongside the fibre cables so that they can be found using a metal detector.</p>

*Table 5 - Materials to be Installed in Tenure Area*

### 3.1.2 Construction Methods

#### Buried Fibre Installation

Within the tenure area, Kaslo infoNet Society will bury the fibre infrastructure materials underground because it offers superior protection to the weather, accidental human damage and natural disasters such as wildfires, avalanches, and rock slides.

In order to bury the fibre infrastructure, Kaslo infoNet Society will use a small excavator (1.8t) to dig a narrow trench approximately 0.20m wide by 0.75m deep. The fibre cables and other infrastructure (marking tape, conduit and/or splice cases) will be placed in the bottom of the trench, and then the trench will be filled back in with the original excavated substrate. The filled trench will then be tamped

down to original condition, and any rocks or vegetation that were moved will be placed back in their original position. Figure 4 below shows a typical cross-section of the trench with buried fibre cables.

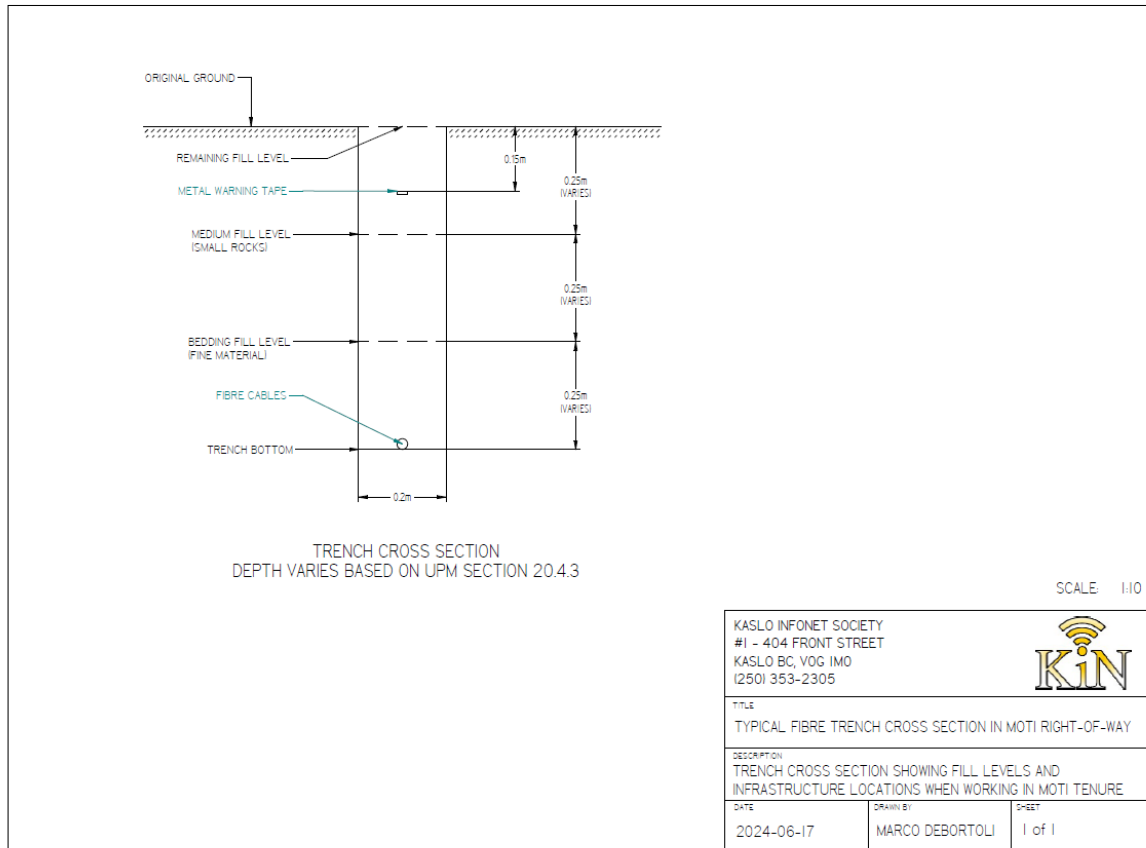


Figure 4 - Typical Trench Cross-Section

For work within this tenure area, the trenching and fibre installation will occur along the Kootenay Lake foreshore at the maximum high water level (during spring freshet). For service lines to the households around the tenure area, the trenching will take place from the Kootenay Lake foreshore directly to the household.

### Construction Crew

The construction crew will consist of two to three experienced workers who have worked with Kaslo infoNet Society for multiple seasons.

The construction crew will use a single 1.8t excavator which will perform the trenching. The excavator is equipped with a custom 15cm wide bucket and rubber tracks in order to reduce ground disturbance and prevent damage to any paved surfaces. Due to the environmentally sensitive construction along the Kootenay Lake foreshore, the excavator will also use environmentally friendly Biohydran hydraulic oil.

In order to transport the crew and excavator to the tenure area, a small barge and single boat will be used. The barge will be used to transport the excavator and materials to the tenure area at the start of



the construction phase, and then used again to remove the excavator and any remaining materials at the end of the construction phase. The crew will be transported to the tenure area from Kaslo each day via boat.

### 3.1.3 Maintenance and Improvements

#### Maintenance

Fibre infrastructure does not require regular maintenance, and cables can operate passively for dozens of years without human intervention. The most common form of maintenance that needs to be done on Kaslo infoNet Society's infrastructure is when it is accidentally damaged by human activities such as excavating. For cases where terrestrial fibre is damaged, Kaslo infoNet Society will be notified and dispatch a service technician who can perform a simple splice at the point of damage and re-bury the cable within a couple of hours.

Kaslo infoNet Society also participates in BC1Call, which is a service that individuals or companies can call prior to digging to get information about any infrastructure within their construction area. This service helps prevent accidental damage to the infrastructure.

#### Improvements

The capabilities of the installed fibre internet infrastructure are already future-proof in that it is unlikely that upgrades or improvements will need to be made to the infrastructure within the License of Occupation timeframe. However, if upgrades are required, the existing infrastructure will need to be replaced with newer (or a higher quantity) of cabling. Kaslo infoNet Society would perform this service free-of-charge to subscribers, and it could be completed with the same construction methods, materials and within the same footprint as the approved tenure.

## 3.2 Infrastructure / Access

### 3.2.1 Road Creation

This project will not require the creation of any new roads or connections to access the tenure area; it can only be accessed by water.

### 3.2.2 Existing Road Use

The tenure area in Campbell Creek can only be reached by water, and therefore will not require the use of any existing roads. Kaslo infoNet Society will launch the barge or boat from Kaslo Bay or Kaslo Marina, and proceed north-east on Kootenay Lake to the tenure area, which is displayed in Figure 5.



Figure 5 - Crown Land Tenure Area Access

### 3.2.3 Authorizations

Apart from the License of Occupation from the Ministry of Water, Land and Resource Stewardship, there are several other authorizations that may be required for this project:

1. *Changes in and about a Stream* – authorization issued by the provincial government for construction work in and around water
  - a. Kaslo infoNet Society received a change approval (File Number #4008481) for similar work conducted in 2025
2. *Watercourse Development Permit* – permit issued by the Regional District of Central Kootenay (RDCK) for works within 30m (riparian zone) of a watercourse. The RDCK will be consulted to see if a Watercourse Development Permit is required for this project, or whether the Changes in and about a Stream authorization is sufficient
3. *Heritage Inspection Permit* – authorization issued by Ministry of Forest, Lands and Natural Resource Operations (Archaeology Branch) to allow an archaeologist to conduct subsurface testing and collect artifacts to identify whether an archaeological site is present
  - a. Kaslo infoNet Society’s contractor received a Heritage Inspection Permit (#2024-0253) for similar work conducted in 2025

Kaslo infoNet Society does not anticipate the need to perform any maintenance or snow ploughing of the access roads, paths and trails, but if that changes then a *License of Occupation* under the *Land Act Roadway policy* will be obtained.

### 3.3 Utilities Requirements and Sources

Kaslo infoNet Society does not require any additional utilities such as power, gas, water or sewer for this project. No utilities are needed during construction, and the fibre internet infrastructure does not require any additional utilities to operate.



### 3.4 Water Supply

Kaslo infoNet Society does not have any water requirements for this project. No water supply is needed during construction, and the fibre internet infrastructure does not require a water supply to operate.

### 3.5 Waste Collection, Treatment and Disposal

During the construction phase, any waste generated will be removed by Kaslo infoNet Society using the barge or boat. The construction equipment (excavator) does not produce any waste, and construction workers will remove any food waste or other garbage at the end of each work day. Cleared vegetation will also be removed for FireSmart reasons (see Section 4.1 regarding expected vegetation clearing). Any substrate removed as part of the burial process will be put back into the trench after placing the fibre internet cables.

Once installed the fibre internet infrastructure does not generate any waste during operation.

### 3.6 FireSmart

There are no additional FireSmart best practices that need to be incorporated for the buried fibre infrastructure in the tenure area. Burying the fibre cable provides superior protection against the challenging mountain conditions including wildfires, avalanches, rock and mud slides and motor vehicle incidents.

## 4.0 Environmental

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### 4.1 Land Impacts

#### 4.1.1 Vegetation Removal

Due to the fact that the tenure area is primarily on the Kootenay Lake foreshore, Kaslo infoNet Society does not expect that any timber removal will be required for this project. However, if this changes during the construction phase and timber does need removal, Kaslo infoNet Society will apply for an *Occupant License to Cut* for all harvested timber.

Some minor vegetation will likely need to be removed in order to facilitate the trenching required as part of the construction phase. This vegetation will likely include small shrubs, grass and bushes. Kaslo infoNet Society will take every effort to avoid the excessive clearing of vegetation, and will only clear what is required in order perform the trenching.

#### 4.1.2 Soil Disturbance

As part of the construction phase, Kaslo infoNet Society will need to excavate narrow trenches and cause minor soil disturbance in two locations:

1. Trenches approximately 0.20m wide by 0.75m deep that run parallel to Kootenay Lake along the foreshore (high water level) between the submarine fibre lake landings and Campbell Creek
2. Trenches approximately 0.20m wide by 0.75m deep that run from the Kootenay Lake foreshore infrastructure (#1 above) to each service endpoint in the community

Once the trenches have been excavated and fibre infrastructure installed, they will be filled back in with the original excavated material and then tamped down to return the ground to a state close to original. Any rocks or driftwood moved as part of the construction process will be placed back to their original location (as accurately as possible). The areas excavated will not be a brownfield site and do not have the potential to be contaminated.

Kaslo infoNet Society has worked closely with first nations groups and archaeologists on prior Crown land projects, and is aware of the potential impacts of any soil disturbance. The project manager and construction crew will be made aware that archaeological remains predating AD 1846 and sites containing rock art or human burials are automatically protected in BC from disturbance, both intentional and inadvertent, by the Heritage Conservation Act. They will be given for reference the archaeological information sheet previously provided by archaeological consultants to Kaslo infoNet Society explaining regionally-applicable archaeological sites types and artifact assemblages.

In the event that any pre-contact cultural material is encountered or suspected to have been exposed during the construction phase all ground disturbance in the immediate vicinity of the suspected find(s) will be suspended at once and the Ministry of Forest, Lands and Natural Resource Operations,

Archaeology Branch will be informed as soon as possible of the location of the archaeological remains and the nature of the disturbance.

#### 4.1.3 Riparian Encroachment

The tenure area is within the riparian zone of Kootenay Lake. Kaslo infoNet Society will work with Masse Environmental, an environmental consultancy firm out of Nelson BC, to determine the environmental impacts of the proposed work on the riparian zones. An appropriate *Changes in and about a Stream* change approval or notification will be submitted for any work that takes place in or around the lake.

Due to the tenure overlapping with a riparian area, Kaslo infoNet Society will consult with the Regional District of Central Kootenay (RDCK) to determine whether a *Watercourse Development Permit* is appropriate for this project.

#### 4.1.4 Pesticides and Herbicides

Pesticides, fertilizers, or herbicides will not be used during construction, operations or maintenance.

#### 4.1.5 Visual Impacts

The project will not have any impacts on visual quality objectives. All of the infrastructure installed as part of the project will be underground, leading to no impact on sight lines from surrounding areas likely to be used for scenic viewing.

### 4.2 Atmospheric Impacts

#### 4.2.1 Sound, Odour, Gas, or Fuel Emissions

During the construction phase the use of an excavator will cause minimal sound and fuel emissions. The excavator is small (1.8t), equipped with environmentally friendly Biohydran hydraulic oil and will only be used during regular daytime working hours (7am to 5pm) for one month. The sound and fuel emissions are unlikely to disturb wildlife and the residential addresses around the tenure area.

Once construction is completed and the installed infrastructure is operational, there will be no additional sound, odour, gas or fuel emissions emitted as part of the project.

### 4.3 Hydrology

#### 4.3.1 Drainage Effects

The project will not result in changes to land drainage. After the fibre infrastructure is installed, Kaslo infoNet Society returns the ground to a condition similar to the original, and will avoid disturbing any existing drainage ditches and culverts as much as possible.

Any work in and around the streams will only commence after a *Changes in and about a Stream* change approval has been approved, and will be completed under the guidance of an external environmental consultancy firm. The work around the lake should not lead to any change in land drainage.

#### 4.3.2 Flood Potential

The project will not result in a potential for flooding.

### 4.4 Fish and Wildlife Habitat

#### 4.4.1 Disturbance to Fish/Wildlife and Fish/Wildlife Habitat

Due to the minimal footprint of the tenure area and short construction phase with low disturbance, Kaslo infoNet Society is confident that both the phases of the project will have little impact on wildlife or wildlife habitat. Some activities which may have an impact are listed in Table 6 below.

Risk	Risk Level	Comments
Minor vegetation clearing	LOW	Vegetation clearing will only be required for the trenching between the foreshore infrastructure and the individual properties.  Risk level is low due to the small scope of vegetation clearing.
Work around Kootenay Lake	MEDIUM	The excavator used for lake landing construction will be equipped with environmentally friendly Biohydran hydraulic oil, and a spill kit will be on site in the event of a leak.  Kaslo infoNet Society will submit the appropriate <i>Changes in and about a Stream</i> change approval or notification prior to commencing any construction, and will work with Masse Environmental on proper environmental procedures.
Ground / soil disturbance	LOW	Trenching will disturb the soil and ground in the tenure area. Trenches will be minimal, with a width of 0.20m and depth of 0.75m.  Risk level is low due to the small size of the trench, and effort to return the ground to similar condition once construction is complete.
Construction noise	LOW	During construction, noise will only be emitted by a single excavator.



		Risk level is low due to the small construction crew, daytime construction hours, and short construction phase.
--	--	---

*Table 6 - Risk of Disturbance to Fish & Wildlife*

The construction and operation phases of the project will have no impact on erosion and sedimentation, will not require water diversion and will not threaten or endanger species at risk in the area.

## 5.0 Socio-Community

### 5.1 Land Use

According to the BC Data Catalogue [TANTALIS – Crown Tenures](#) layer, the proposed tenure area for this project overlaps with two existing tenures (one of which is held by Kaslo infoNet Society). Details about the overlapping tenures can be found in the list below.

1. Crown Lands File: 4405896
  - Type: License of Occupation
  - Status: Disposition in Good Standing
  - Purpose: Utility (Telecommunication Line)
  - Expiry: July 29, 2048
  - Note: This License is held by Kaslo infoNet Society
2. Crown Lands File: 4406537
  - Type: Section 17 Designated Use Area
  - Status: Disposition in Good Standing
  - Purpose: Miscellaneous Land Uses
  - Expiry: August 31, 2030

In addition to the two overlapping tenures, there are also two additional tenures which are nearby to the proposed tenure. The nearby tenures will not be impacted by the work proposed in this application. The nearby tenures are listed below in Table 7.

#	Tenure Type	Crown Lands File Number	Document Number	Tenure Purpose
1	Reserve / Notation Notation of Interest	0289771	69652	Environment, Conservation and Recreation (Forest Management Research)
2	Reserve / Notation Section 16 Map Reserve	4405191	R174010	Environment, Conservation and Recreation (Fish and Wildlife Management)

*Table 7 - Nearby Active Tenures*

In addition to the official tenures listed above, the tenure area is also used by the property owners in Campbell Creek for recreational purposes (beach) and for access to their properties.

### 5.2 Socio-Community Conditions

#### 5.2.1 Adjacent Users and Communities

The tenure area is located in Campbell Creek, which is a boat access only community located on the east side of Kootenay Lake in the Regional District of Central Kootenay (Area D). The License of Occupation

and proposed fibre installation works will have no negative impact on the community. Additional information about the nearby communities can be found in Table 8 below.

Community	Population	Comments
Kaslo (RDCK Area D)	1049 (according to 2021 census)	Closest highway accessible community which is located across Kootenay Lake from the tenure area.  Kaslo infoNet Society is based out of Kaslo, and offers fibre internet service throughout the community.
Campbell Creek (RDCK Area D)	Less than 25	Boat access only community that the tenure area is located in.  Kaslo infoNet Society offers wireless internet service to the community, and has performed similar submarine fibre work in the community in 2025.

*Table 8 - Communities Nearby to Tenure Area*

The project will not restrict public access, or the ability of adjacent landowners or tenure holders to access their property or tenures. The construction phase of the project will not require closure of any roads, and will not impede regular marine activity and access. Once construction is completed, the infrastructure will be buried underground which will cause no restriction to access.

The tenure area is adjacent to one Private, one Untitled Provincial and two Crown Provincial parcels. Kaslo infoNet Society has already informed the private property owners about the project, and is in discussions with them regarding potential fibre installation to their properties. The neighbouring parcels of interest are listed in Table 9 below.

Parcel	Property Type	Comments
PID 009-688-676	Private Property	Contact has been established with community representative.  Individual owners will be able to approve or deny last-mile fibre installation to their properties (from the main line along the Kootenay Lake foreshore).
PID 024-316-911	Crown Provincial	No contact has been established. The work will have no impact on this property.
PID 024-382-850	Crown Provincial	No contact has been established. The work will have no impact on this property.
PIN 9389360	Untitled Provincial	No contact has been established. The work will have no impact on this property.

*Table 9 - Property Owners Adjacent to Tenure Area*

Once completed, this project will provide better internet service to community members in Campbell Creek. Kaslo infoNet Society has also been in contact with local politicians from the Regional District of Central Kootenay (RDCK) about the project, and no concerns regarding plans, strategies or use restrictions were raised by the local government.



### 5.2.2 Public Access

The project will not result in any changes to public access. Construction will not be taking place along any Ministry of Transportation roads and will not require any closures that could prevent access to adjacent landlords, tenure holders or members of the public.

Once completed, the installed infrastructure will be completely underground, which will have no impact on public access to the tenure area.

### 5.2.3 Existing Services

There will not be any increased demand on local fire protection, health facilities or emergency services. Construction will take approximately one month and involve minimal crew and equipment, with no long term presence. The installed infrastructure is passive and will be entirely underground, offering superior fire and environmental protection.

Crown Land Tenure Application Fee

\$1,000.00 GST @ 5%: \$50.00

\$1,050.00

\$0.00

**OFFICE**

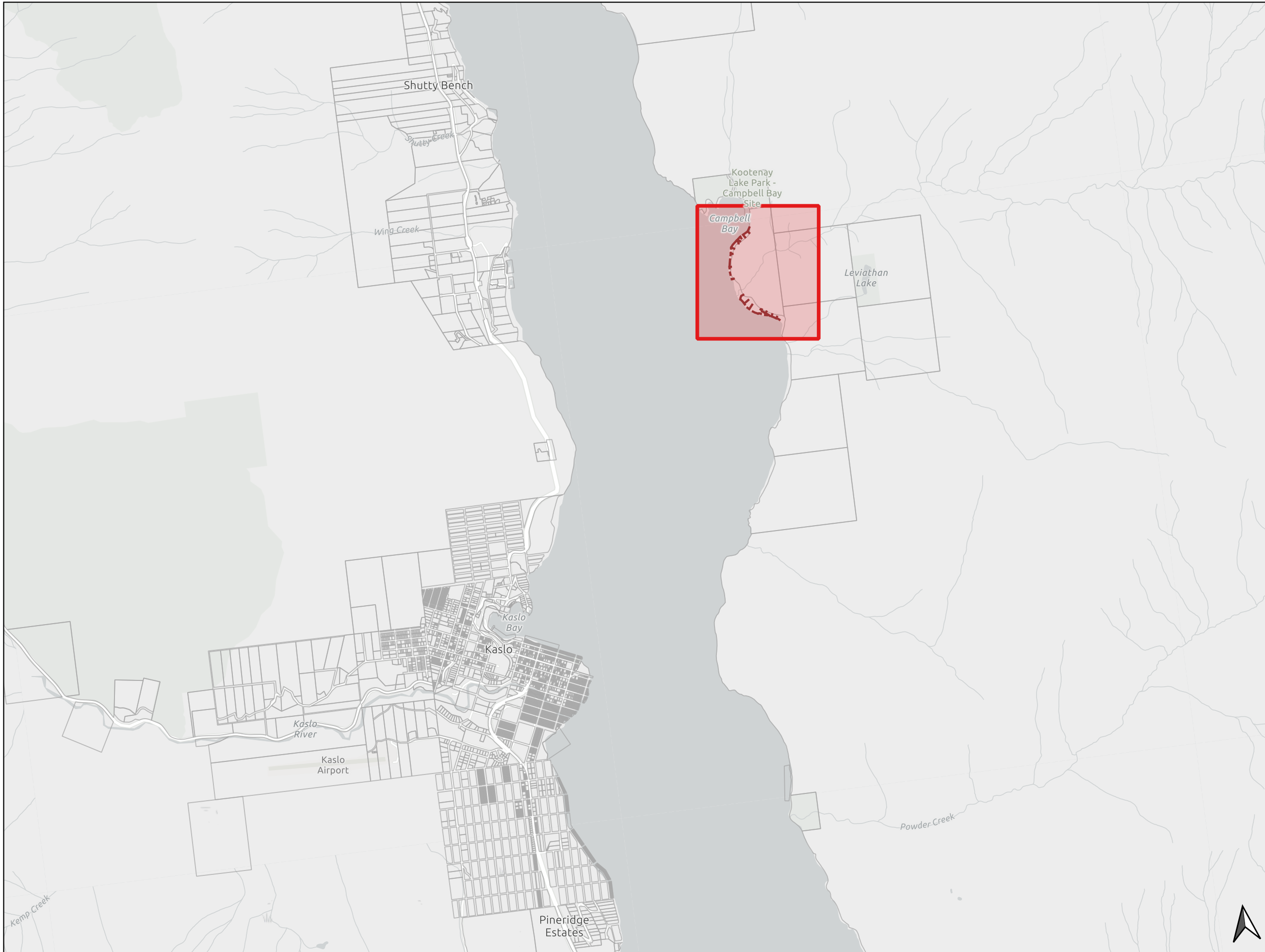
Office to submit application to: Cranbrook

**PROJECT INFORMATION**

Is this application for an activity or project which requires more than one natural resource authorization from the Province of BC? No

**OFFICE USE ONLY**

Office Cranbrook	File Number	Project Number
	Disposition ID	Client Number



# Kaslo infoNet Society






#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

Project Campbell Creek License of Occupation	
Plate General Area	Date 2026-01-13
Author Marco DeBortoli	Scale 1:40000



## Legend

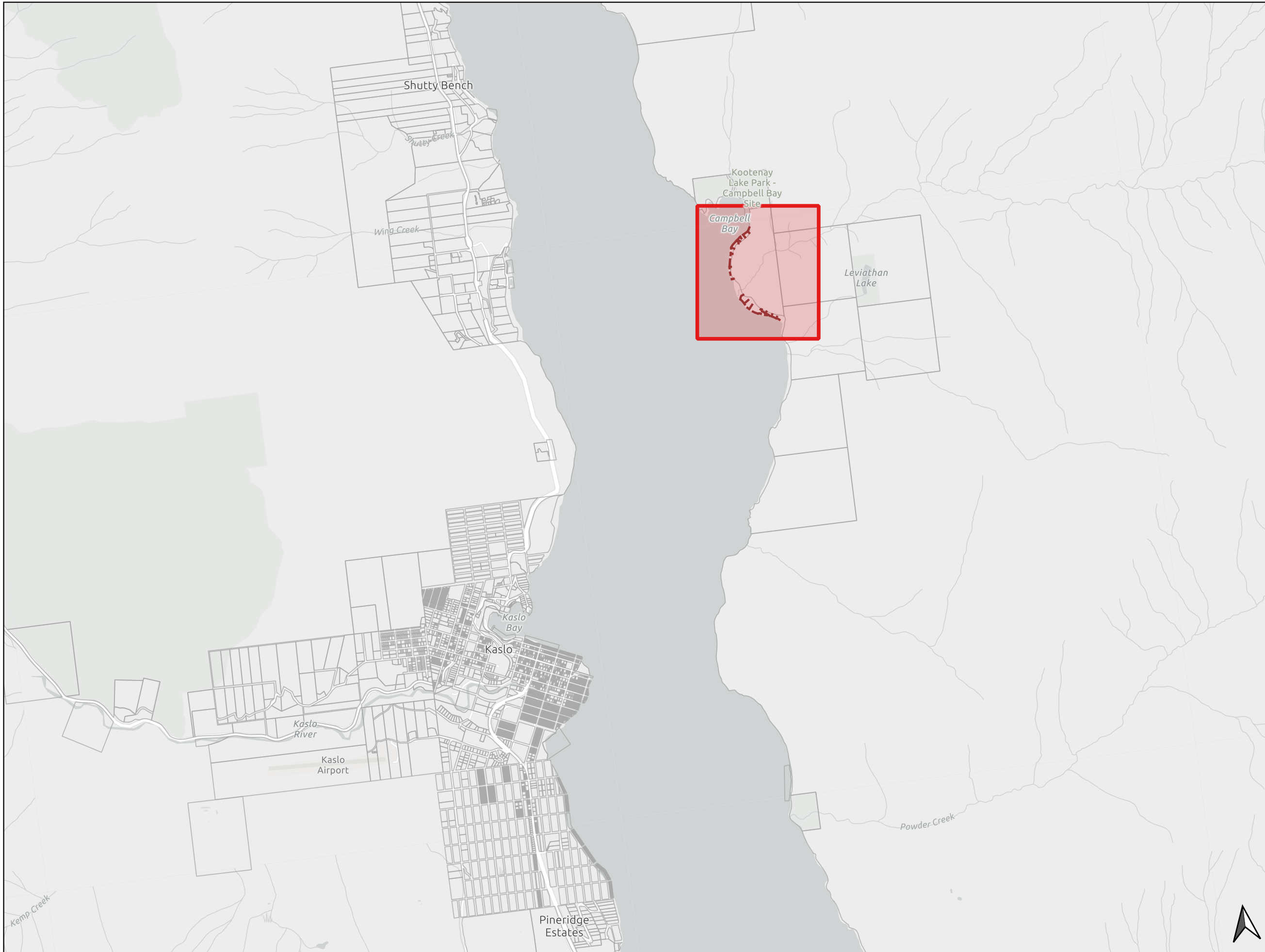
-  General Area
  -  Fibre Installation
- Base Layers**
-  RDCK Cadastre
  - Light Grey Canvas

0 600 1,200 1,800 m



EPSG:3005 (NAD83 / BC Albers)





# Kaslo infoNet Society



#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

Project Campbell Creek License of Occupation	
Plate General Area	Date 2026-01-13
Author Marco DeBortoli	Scale 1:40000

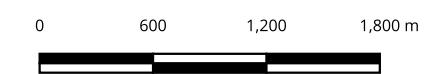


## Legend

- General Area
- Fibre Installation

### Base Layers

- RDCK Cadastre
- Light Grey Canvas



EPSG:3005 (NAD83 / BC Albers)



# Kaslo infoNet Society



#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

Project  
 Campbell Creek License of Occupation

Plate	Site Plan	Date	2026-01-13
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Author	Marco DeBortoli	Scale	1:5000
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## Legend

- Tenure Area
- Base Layers**
- RDCK Cadastre
- RDCK Lakes and Rivers
- RDCK Streams
- Lake Fibre**
- Existing
- Planned
- Ministry of Transportation (MOT) Road Features Inventory**
- Highway (O)
- Easement (E)
- Notional (N)
- Pedestrian Notional (P)



EPSG:3005 (NAD83 / BC Albers)



**Kaslo infoNet Society**



#1 - 404 Front Street, Kaslo BC  
 Email: office@kin.bc.ca  
 Phone: 250-353-2305

Project  
 Campbell Creek License of Occupation

Plate	Date
Site Plan (Satellite)	2026-01-13

Author	Scale
Marco DeBortoli	1:5000

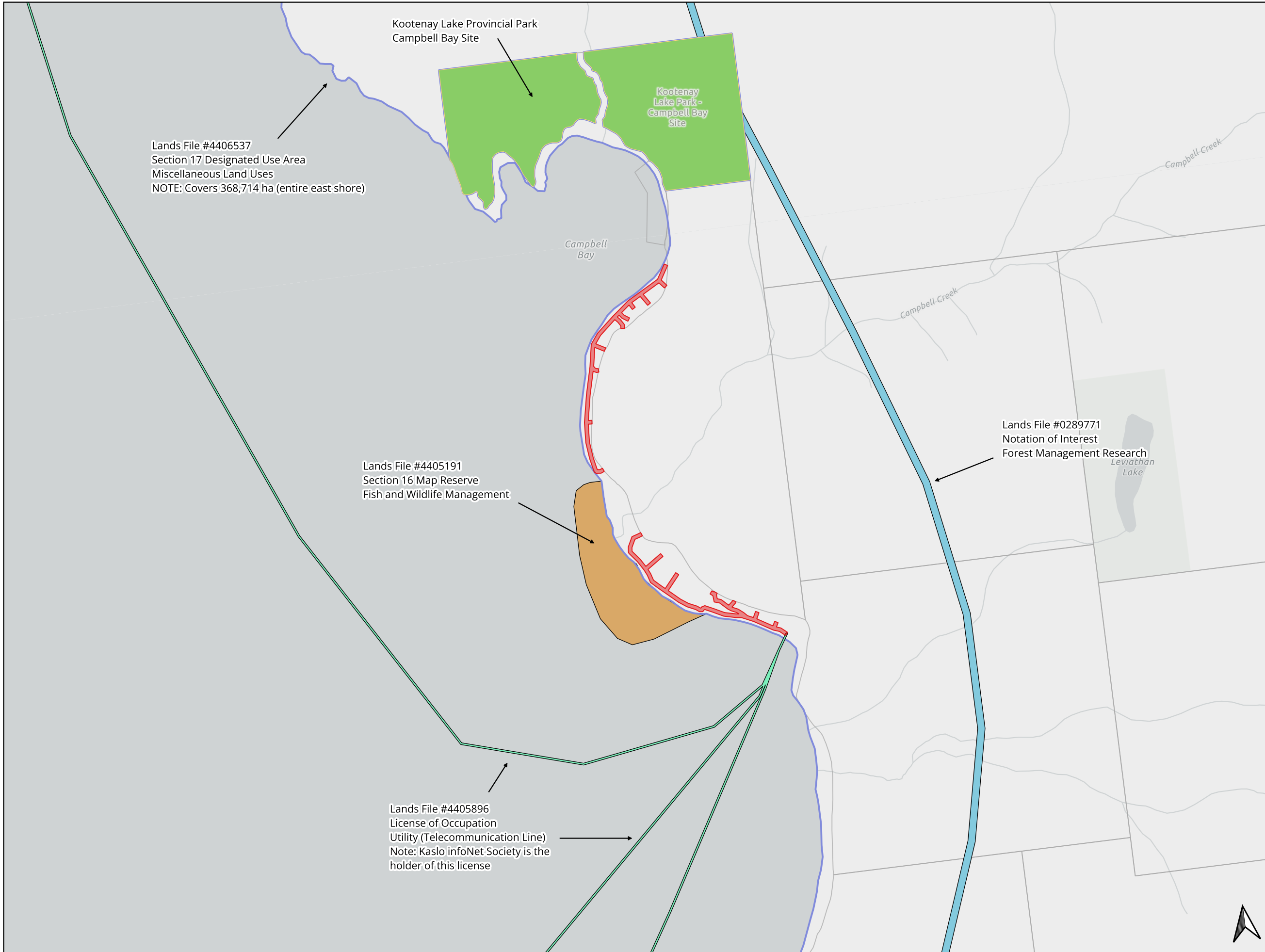


**Legend**

- Tenure Area
- Base Layers**
- RDCK Cadastre
- Lake Fibre**
- Existing
- Planned
- ESRI Imagery
- Canadian Reference



EPSG:3005 (NAD83 / BC Albers)



# Kaslo infoNet Society



#1 - 404 Front Street, Kaslo BC  
Email: office@kin.bc.ca  
Phone: 250-353-2305

Project  
Campbell Creek License of Occupation

Plate	Date
Other Tenures	2026-01-13

Author	Scale
Marco DeBortoli	1:10000



## Legend

- Tenure Area (Enlarged)
- Other Tenures**
  - BC Parks EcoRes and PAs
  - Conservation Lands
- Crown Tenures**
  - BCAL INVENTORY
  - DIRECT SALE
  - LICENCE OF OCCUPATION
  - NOTATION OF INTEREST
  - SEC 16 MAP RESERVE
  - SEC 17 DESIGNATED USE AREA
  - STATUTORY RIGHT OF WAY(OR EASEMENT)
  - STANDARD LEASE
- Base Layers**
  - RDCK Cadastre
- Light Grey Canvas



EPSG:3005 (NAD83 / BC Albers)

## APPENDIX D – LOCATION PHOTOS

License of Occupation (Crown Land) Application – Campbell Creek  
January 13, 2026

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Photo 1 – Campbell Bay Landing Site



Photo 2 – Kootenay Lake Foreshore Tenure Area



Photo 3 – Kootenay Lake Foreshore Tenure Area



Photo 4 – Kootenay Lake Foreshore Tenure Area – Precleared Path





Photo 5 – Residential Fibre Installation Example



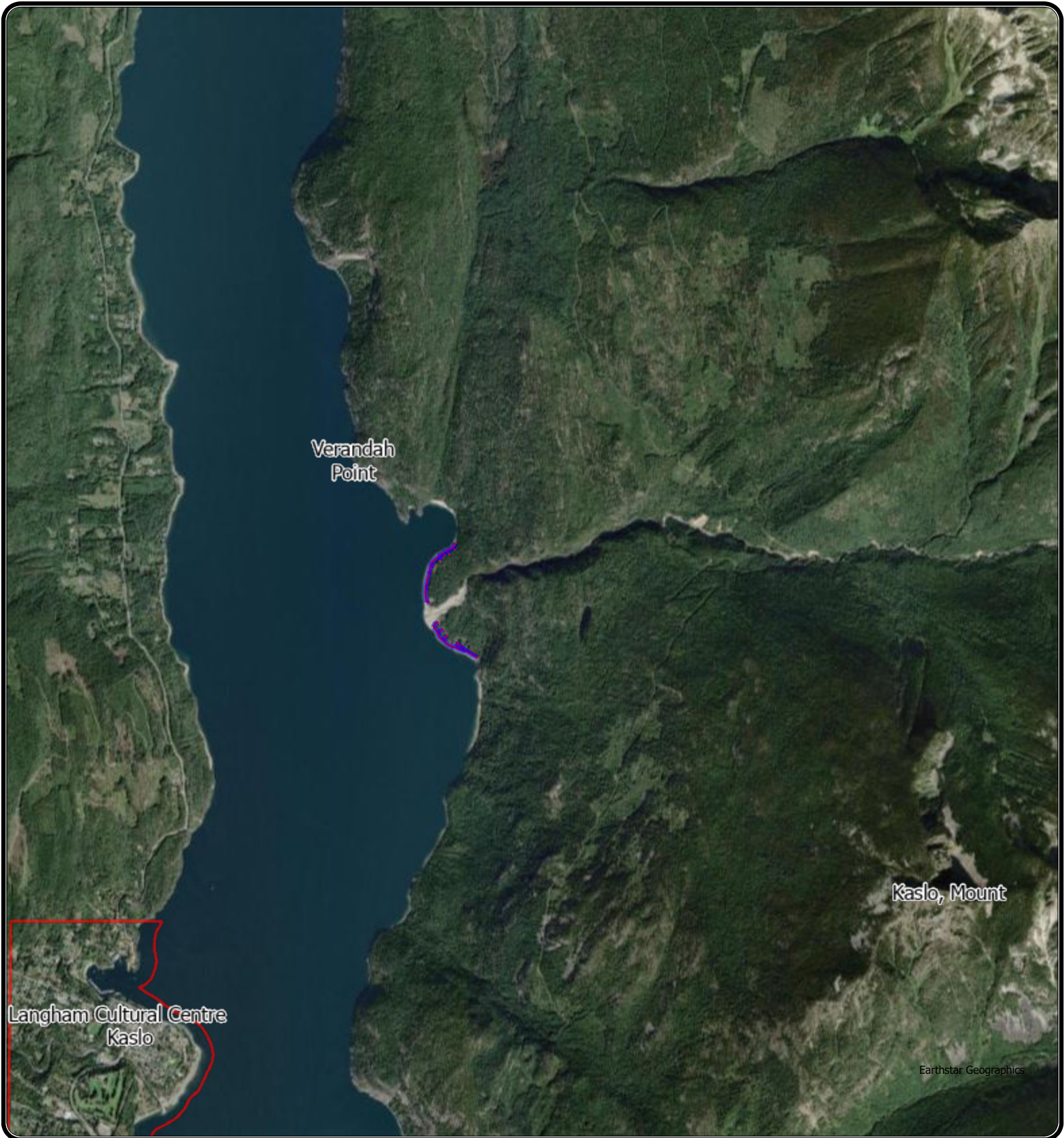
That parcel or tract of Unsurveyed Crown Land in the vicinity of Campbell Creek, Kootenay District, containing 0.53 hectares, more or less.



Type: LICENCE  
 Subtype: LICENCE OF OCCUPATION  
 Purpose: UTILITY  
 Subpurpose: TELECOMMUNICATION LINE




Area:  
 0.53 ha +/-  
 BCGS Mapsheet(s):  
 82F.096

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 [www.rdck.bc.ca](http://www.rdck.bc.ca)  
[maps@rdck.bc.ca](mailto:maps@rdck.bc.ca)

## Legend

-  default
-  4
- Place Names
-  Electoral Areas

## Map Scale:

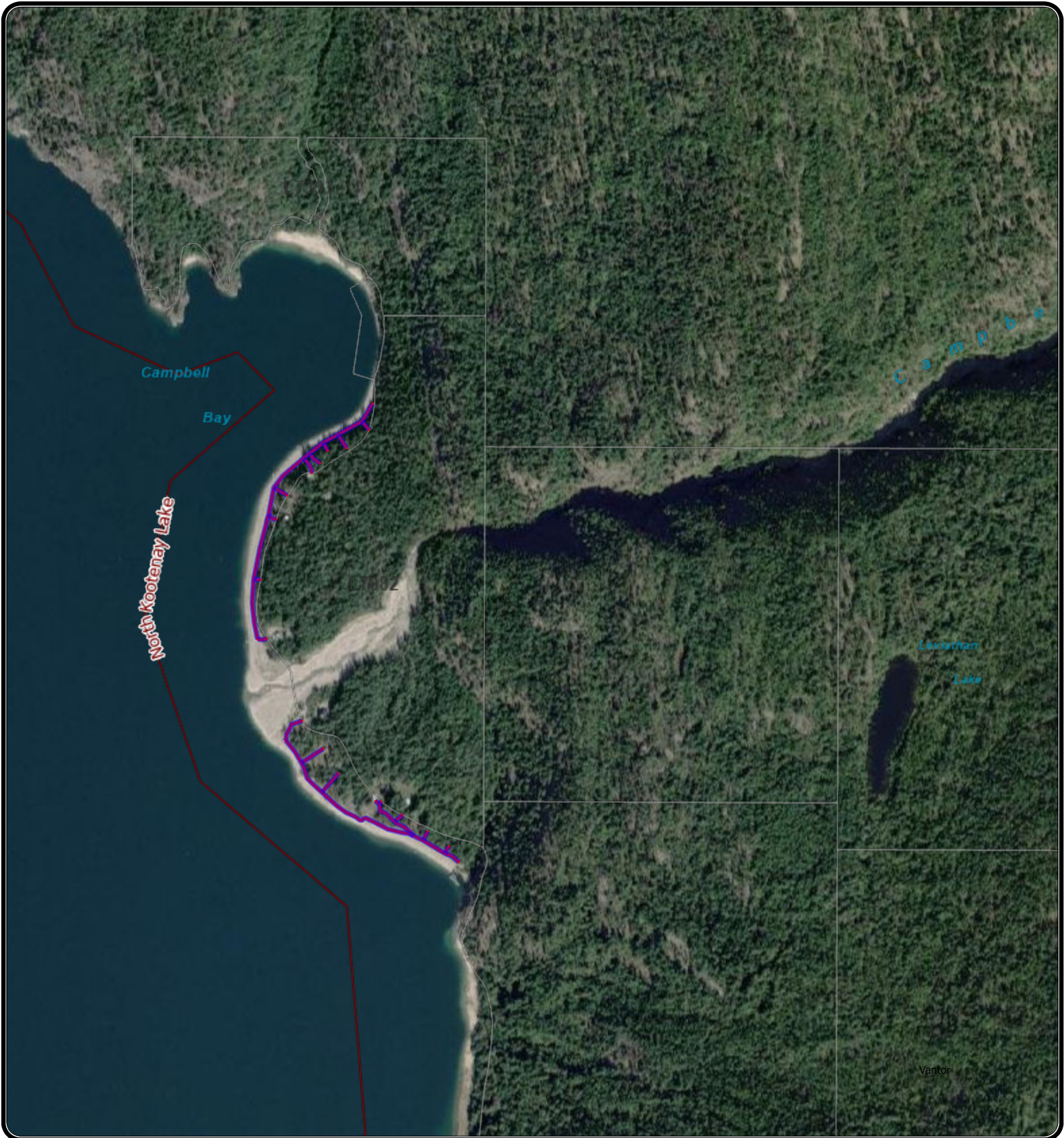
1:72,224

Date: May 4, 2026








The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
Box 590, 202 Lakeside Drive,  
Nelson, BC V1L 5R4  
Phone: 1-800-268-7325 www.rdck.bc.ca  
maps@rdck.bc.ca

## Legend

-  default
-  4
-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines

## Map Scale:

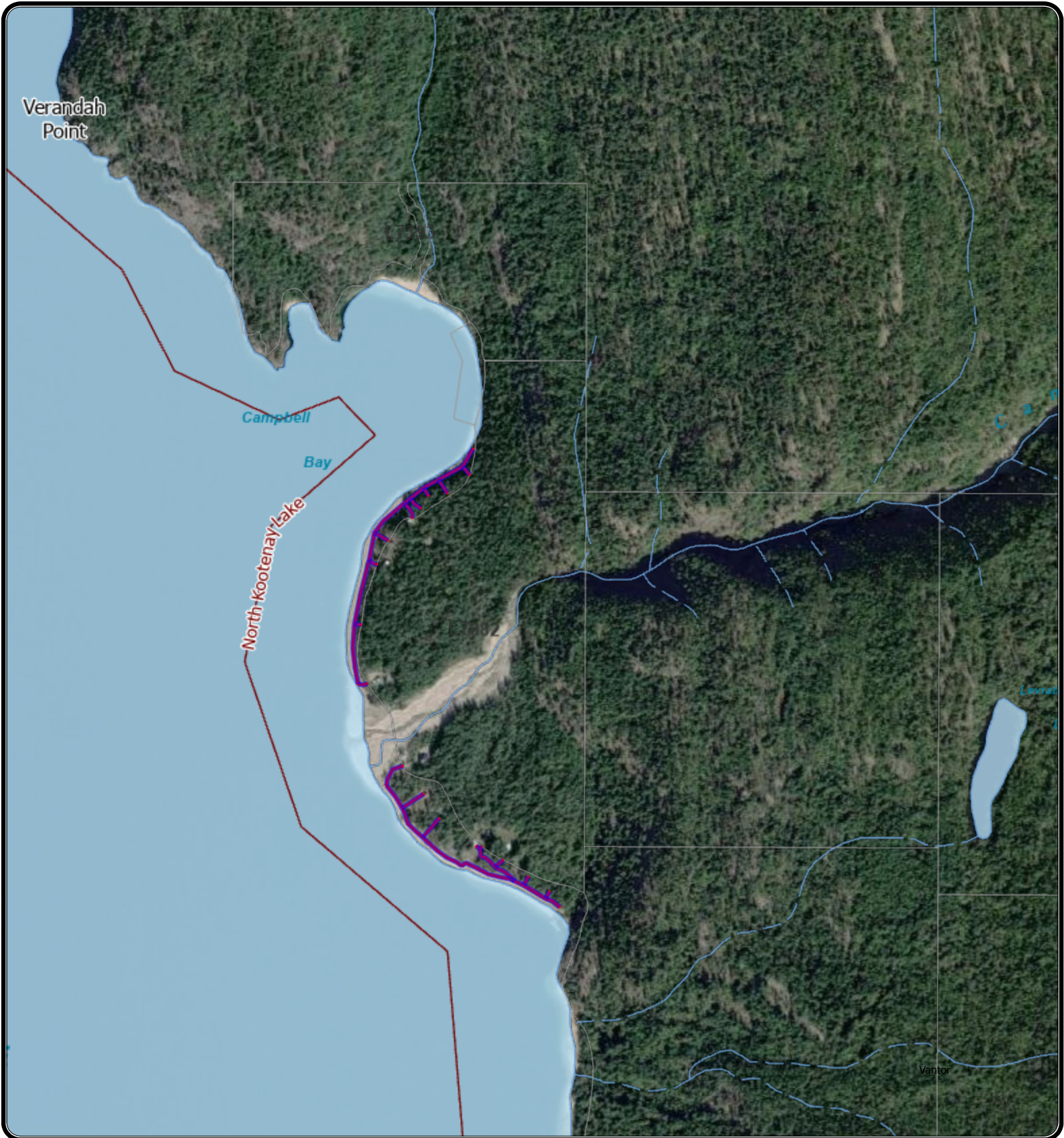
1:18,056

Date: May 4, 2026



The mapping information shown are approximate representations and should only be used for reference purposes. The Regional District of Central Kootenay is not responsible for any errors or omissions on this map.

# RDCK Map



REGIONAL DISTRICT OF CENTRAL KOOTENAY  
 Box 590, 202 Lakeside Drive,  
 Nelson, BC V1L 5R4  
 Phone: 1-800-268-7325 www.rdck.bc.ca  
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## Legend

- default
- 4
- Lakes and Rivers
- Streams and Shorelines
- Place Names
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

## Map Scale:

1:18,056

Date: May 4, 2026



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- default
- 4
- Official Community Plan**
- Parks and Recreation

### Legend

- Resource Area
- Place Names
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

### Map Scale:

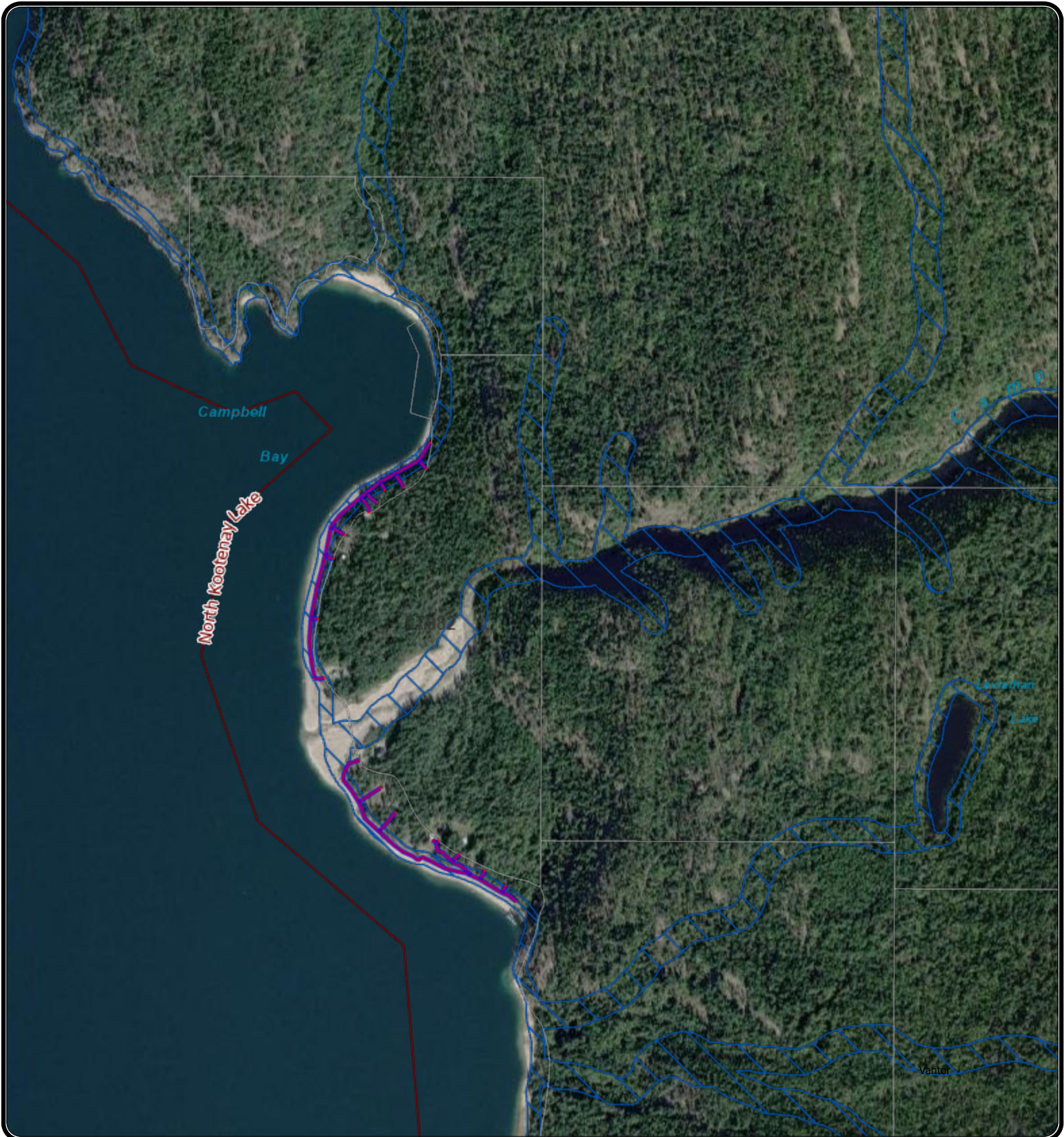
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Date: May 4, 2026



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- default
- 4
- Development Permit Areas**
- Watercourse

### Legend

- Place Names
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

### Map Scale:

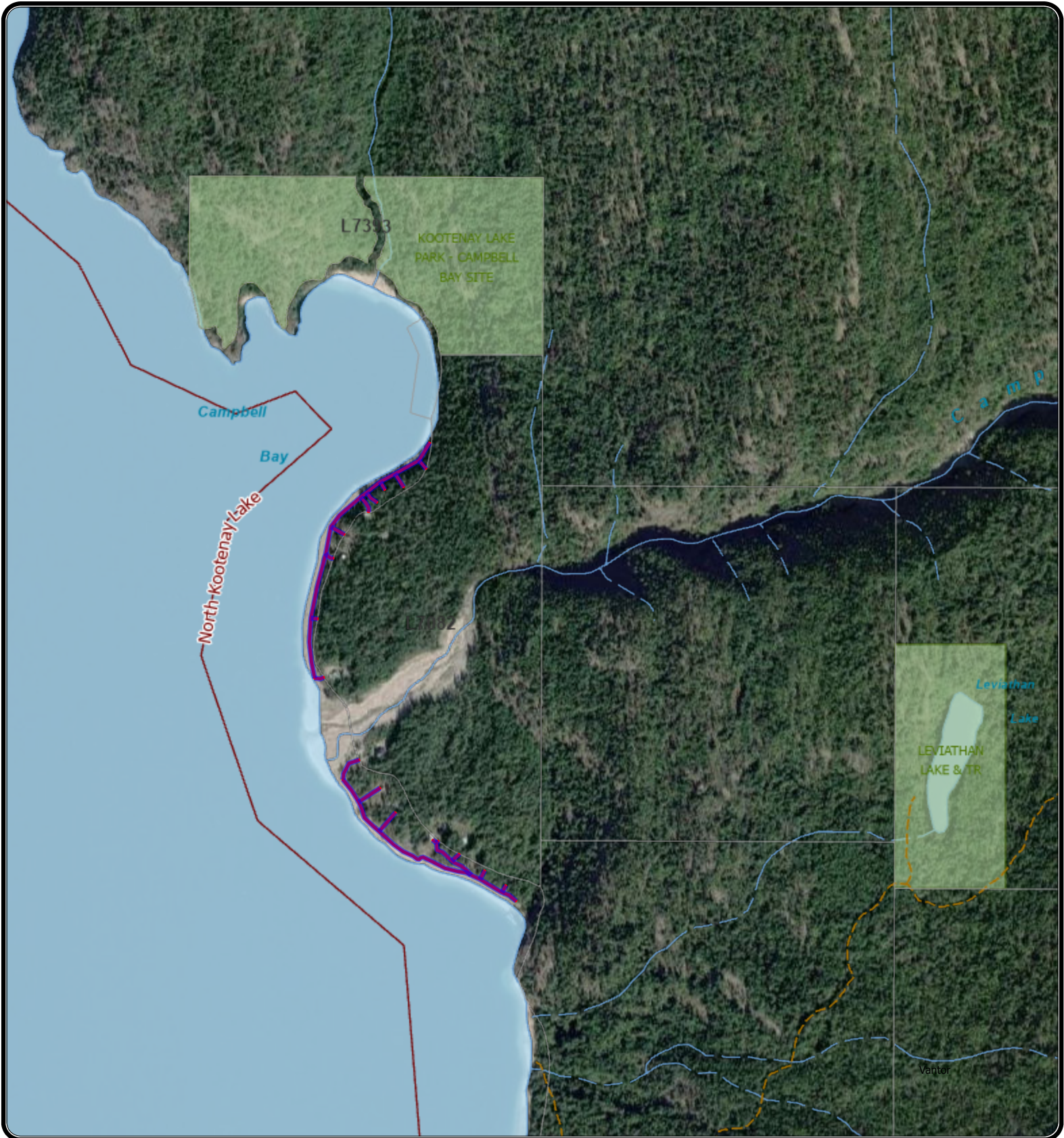
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## Legend

- default
- 4
- Parks and Rec
- Trails
- Lakes and Rivers
- Streams and Shorelines
- Place Names
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

## Map Scale:

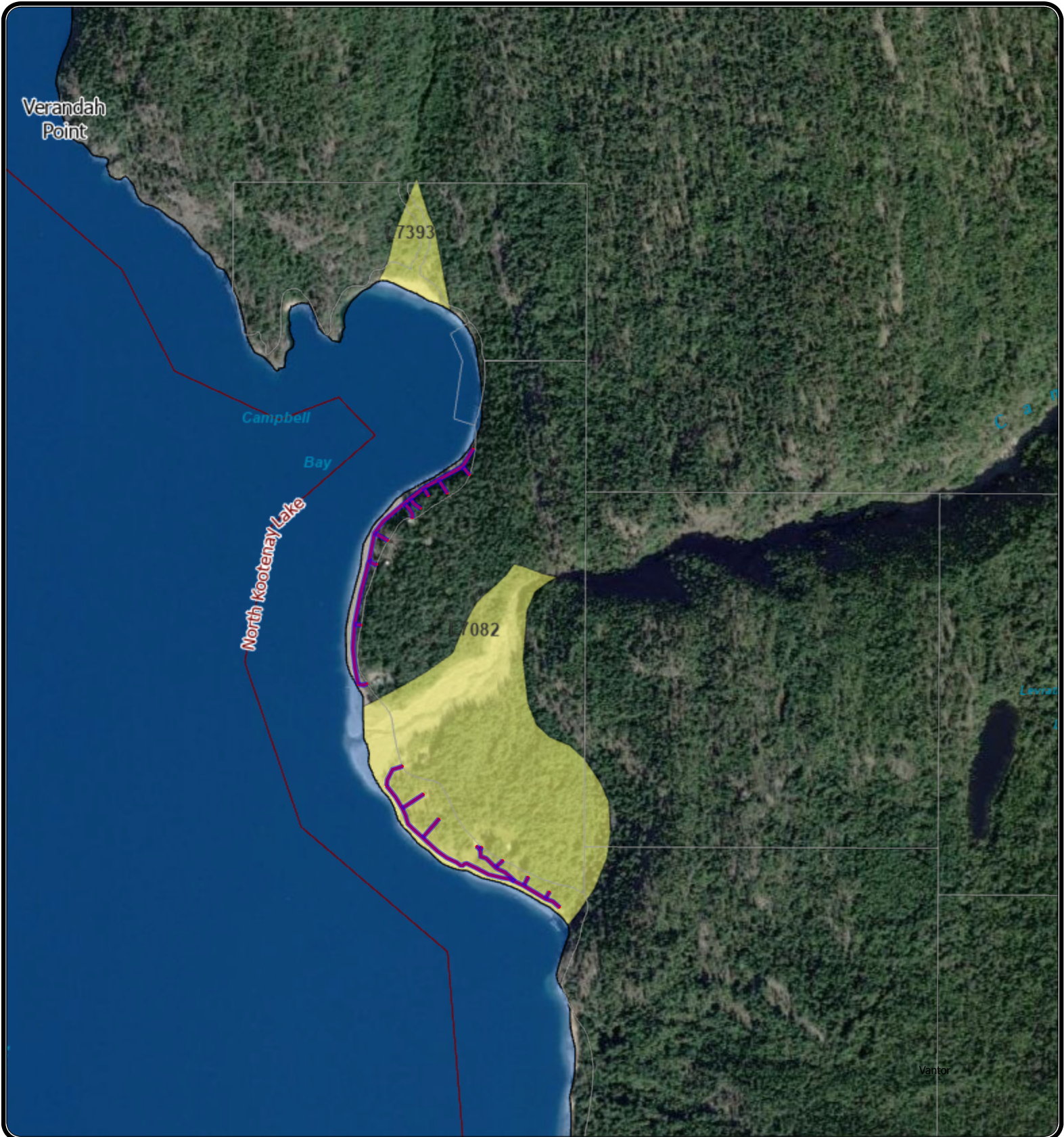
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### Legend

- default
- 4
- Non Standard Flooding Erosion Area
- Flood Construction Levels - 1990
- Place Names
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines

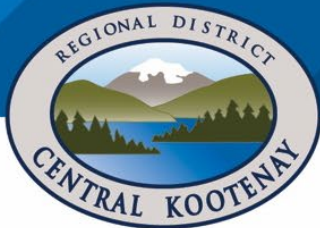
### Map Scale:

1:18,056

Date: May 4, 2026



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# Development Permit Application

Referral Form – RDCK File DP2604D

Date: April 21, 2026

**You are requested to comment on the attached DEVELOPMENT PERMIT for potential effect on your agency's interests. We would appreciate your response WITHIN 30 DAYS (PRIOR TO MAY 22, 2026). If no response is received within that time, it will be assumed that your agency's interests are unaffected.**

**LEGAL DESCRIPTION & GENERAL LOCATION:**

1339 Hamill Lane, Johnson's Landing, BC, Electoral Area 'D'  
 STRATA LOT 8 DISTRICT LOT 7827 KOOTENAY DISTRICT STRATA PLAN NES3603 TOGETHER WITH AN INTEREST IN THE COMMON PROPERTY IN PROPORTION TO THE UNIT ENTITLEMENT OF THE STRATA LOT AS SHOWN ON FORM V (PID: 027-792-935)

**PRESENT USE AND PURPOSE OF PERMIT REQUESTED:**

The subject property is located in the Bulmers Pointe residential community south of Argenta and north of Johnson's Landing on the east side of Kootenay Lake. The lots within the Bulmers Pointe subdivision are serviced by a community water and a community wastewater system. There are currently accessory buildings and structures on the property and the site has been prepped for the construction of a single detached dwelling.

During the review of the Building Permit application (BP029084) for the proposed dwelling it was recognized that there had been unauthorized disturbance to portions of the property that were intended to remain free and clear of any vegetation removal or development activity through the registration of no-disturb covenants and by the Watercourse Development Permit (WDP) Area guidelines in the Area 'D' OCP. This unauthorized disturbance is detailed in the Riparian Assessment Report that forms part of the Development Permit application.

This WDP application has been submitted to retroactively seek approval for the disturbance that has occurred within the Riparian Areas/WDP Areas of Kootenay Lake and Bulmer Creek and also to consider the siting and construction of the proposed single detached dwelling which is located partially within the WDP Area of both Kootenay Lake and Bulmer Creek.

AREA OF PROPERTY AFFECTED	ALR STATUS	ZONING	OCP
0.38 ha (0.95 acres)	n/a	n/a	Country Residential (RC) in Comprehensive Land Use Bylaw No. 2435, 2016

**APPLICANT:** Hamill Creek Timber Homes c/o Dwight Smith

**Please provide your response via email.**

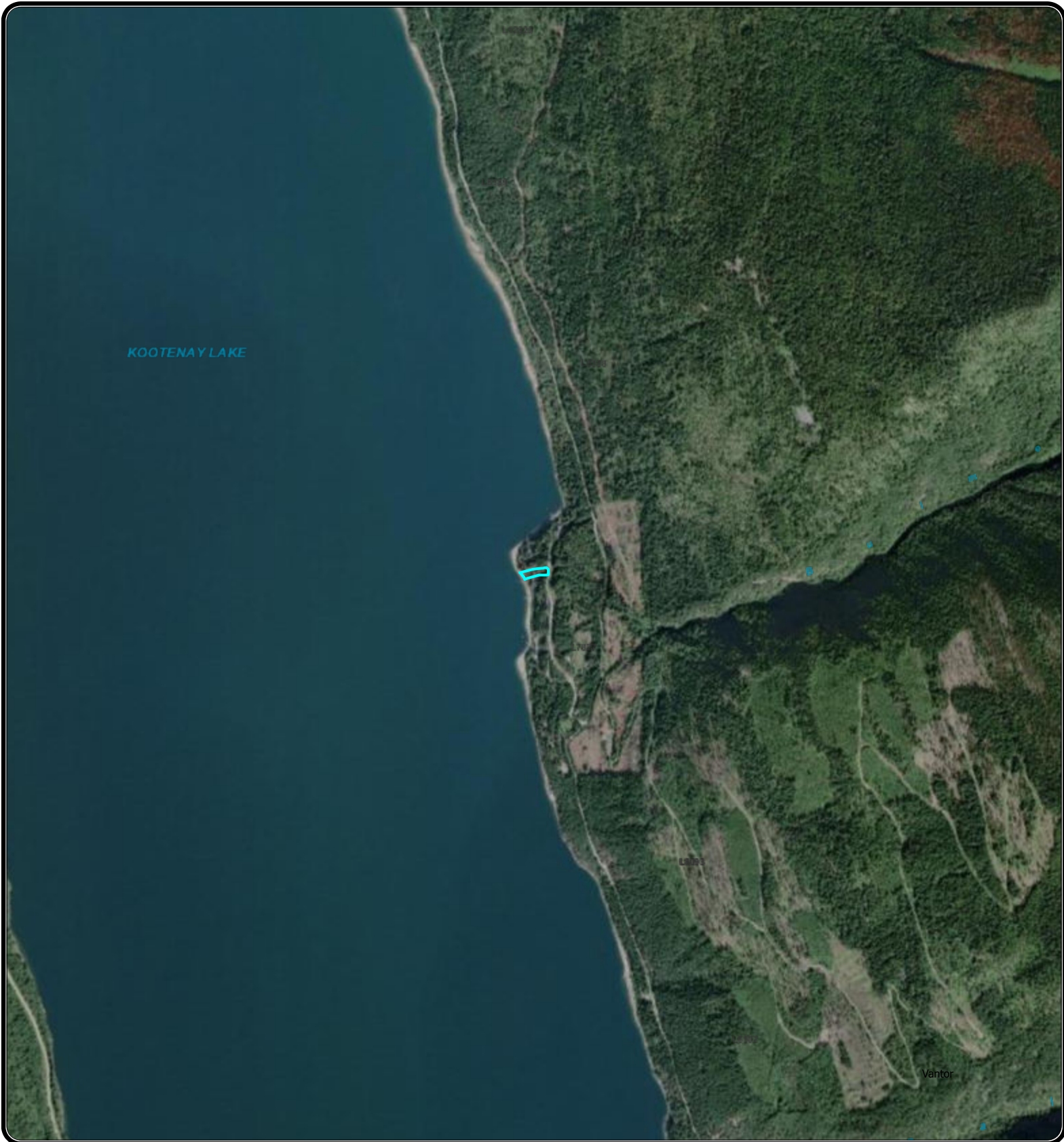
**If your agency's interests are 'Unaffected' no further information is necessary. In all other cases, we would appreciate receiving additional information to substantiate your position and, if necessary, outline any conditions related to your position. Please note any legislation or official government policy which would affect our consideration of this permit.**

<input checked="" type="checkbox"/> MINISTRY OF TRANSPORTATION AND TRANSIT <input checked="" type="checkbox"/> HABITAT BRANCH <input checked="" type="checkbox"/> FRONTCOUNTER BC <input checked="" type="checkbox"/> ARCHAEOLOGY BRANCH <input type="checkbox"/> AGRICULTURAL LAND COMMISSION <input type="checkbox"/> REGIONAL AGROLOGIST	REGIONAL DISTRICT OF CENTRAL KOOTENAY DIRECTORS FOR: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input checked="" type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K ALTERNATIVE DIRECTORS FOR: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C <input checked="" type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F <input type="checkbox"/> G <input type="checkbox"/> H <input type="checkbox"/> I <input type="checkbox"/> J <input type="checkbox"/> K <input checked="" type="checkbox"/> APHC AREA 'D' <input checked="" type="checkbox"/> RDCK FIRE SERVICES
--	--

<input type="checkbox"/> ENERGY & MINES <input type="checkbox"/> MUNICIPAL AFFAIRS & HOUSING <input checked="" type="checkbox"/> INTERIOR HEALTH, HBE TEAM <input type="checkbox"/> SCHOOL DISTRICT NO. <input type="checkbox"/> WATER SYSTEM OR IRRIGATION DISTRICT <input checked="" type="checkbox"/> UTILITIES (FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER)	<input checked="" type="checkbox"/> RDCK EMERGENCY SERVICES <input checked="" type="checkbox"/> RDCK BUILDING SERVICES <input type="checkbox"/> RDCK UTILITY SERVICES <input type="checkbox"/> RDCK RESOURCE RECOVERY <input type="checkbox"/> RDCK REGIONAL PARKS <b>FIRST NATIONS</b> <input checked="" type="checkbox"/> KTUNAXA NATION COUNCIL YAQAN NU?KIY (LOWER KOOTENAY) ?AKINK'UM?ASNUQ?I?IT (TOBACCO PLAINS) ?AKISQNUK (COLUMBIA LAKE) ?AQ'AM (ST. MARY'S)
--	--

The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), [info@rdck.bc.ca](mailto:info@rdck.bc.ca), or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

# RDCK Map



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Nelson, BC V1L 5R4  
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[maps@rdck.bc.ca](mailto:maps@rdck.bc.ca)

## Legend

 Electoral Areas

**Map Scale:**

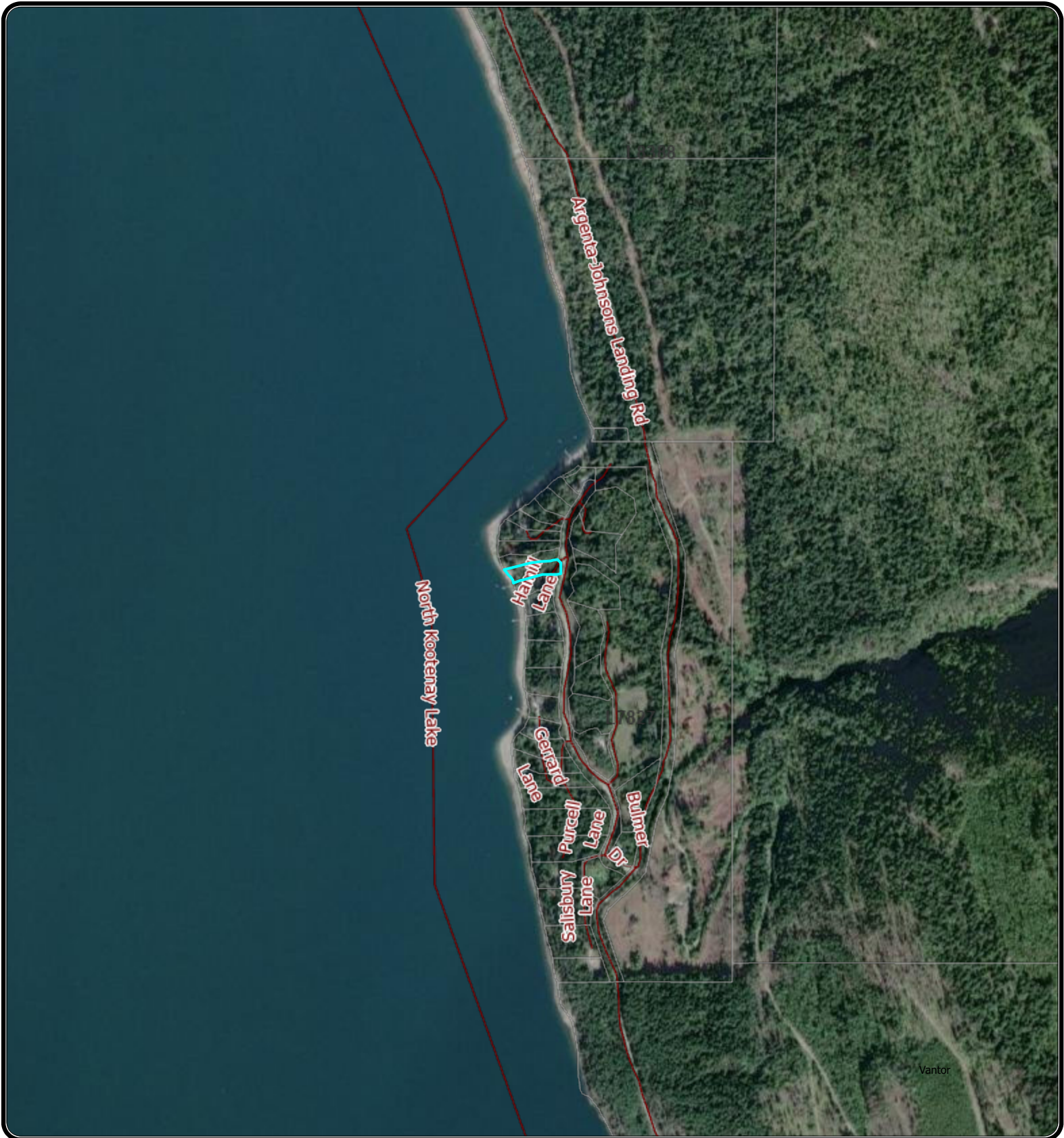
1:36,112

Date: April 10, 2026






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# RDCK Map



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### Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines

### Map Scale:

1:18,056

Date: April 10, 2026







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# RDCK Map



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### Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

### Map Scale:

1:4,514

Date: April 10, 2026



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# RDCK Map







Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community



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### Legend

-  Electoral Areas
-  RDCK Streets
-  Cadastre - Property Lines
-  Address Points

### Map Scale:

1:1,128

Date: April 10, 2026



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[maps@rdck.bc.ca](mailto:maps@rdck.bc.ca)

## Official Community Plan

- Country Residential
- Resource Area

### Legend

- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
- Address Points

### Map Scale:

1:2,257

Date: April 10, 2026



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# RDCK Map



Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community



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### Legend

- Non Standard Flooding Erosion Area
- Flood Construction Levels - 1990
- Lakes and Rivers
- Streams and Shorelines
- Electoral Areas
- RDCK Streets
- Cadastre - Property Lines
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### Map Scale:

1:2,257

Date: April 10, 2026



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## 19.0 DEVELOPMENT PERMIT AREAS

### Background

The OCP may designate Development Permit Areas under the authority of local government legislation. Unless otherwise specified, a development permit must be approved by the Regional Board prior to any development or subdivision of land within a designated Development Permit Area.

Development Permit Areas allow for implementation of special guidelines for the protection of the natural environment, protection from hazardous conditions, for revitalization of designated areas, or to guide the form and character of development within the Kootenay Lake and the Lardeau Valley Plan area. Development Permit Areas can also be used to meet targets for carbon emission reductions and energy and water conservation.

Where land is subject to more than one Development Permit Area designation, a single development permit is required. The application will be subject to the requirements of all applicable Development Permit Areas, and any development permit issued will be in accordance with the guidelines of all such Areas.

### Development Permit Area #1: Watercourse Development Permit (WDP) Area

#### Category

The WDP area is designated under Section 488 (1) (a) of the *Local Government Act* for the protection of the natural environment, its ecosystems and biological diversity.

#### Area

The WDP area is comprised of:

1. Riparian assessment areas (Figure 1) for fish and wildlife habitat and drinking water, which include all watercourses and adjacent land:
  - a. within 30 m of the high water mark of a watercourse;
  - b. within 30 m of the top of the ravine bank in the case of a ravine less than 60 m wide; and
  - c. within 10 m of the top of the ravine bank in the case of a wider ravine that link aquatic to terrestrial ecosystems and includes both existing and potential riparian vegetation and existing and potential upland vegetation that exerts an influence on the watercourse; and as identified in Schedule 'A.1'.

HIGH WATER MARK means the visible high water mark of a watercourse where the presence and action of the water are so common and usual, and so long continued in all ordinary years, as to mark on the soil of the bed of the watercourse a character distinct from that of its banks, in vegetation, as well as in the nature of the soil itself, and includes the active floodplain;

TOP OF RAVINE BANK means the first significant break in a ravine slope where the break occurs such that the grade beyond the break is greater than 3:1 for a minimum distance of 15 m measured perpendicularly from the break, and the break does not include a bench within the ravine that could be developed;

WATERCOURSE means any natural or man made depression with well-defined banks and a bed 0.6 metres (2.0 feet) or more below the surrounding land serving to give direction to a current of water at least six months of the year and/or having a drainage area of two square kilometres (0.8 square miles) or more upstream of the point of consideration.

### **Justification**

The primary objective of this Development Permit Area designation is to regulate development activities in watercourses and their riparian areas so as to protect aquatic habitat; and to conserve, enhance and, where necessary, restore watercourses and their riparian areas.

The impact of development on watercourses can be minimized by carefully examining the proposed development and taking appropriate measures in relation to the environmentally sensitive riparian area.

### **Determining whether development falls within the WDP Area**

To confirm whether a proposed development is within land identified as a riparian assessment area in the WDP area for which a development permit application is required, the following applies:

2. Any area located within 30 m of the high water mark of a watercourse; within 30 m of the top of the ravine bank in the case of a ravine less than 60 m wide; and within 10 m of the top of the ravine bank in the case of a wider ravine that link aquatic to terrestrial ecosystems and includes both existing and potential riparian vegetation and existing and potential upland vegetation that exerts an influence on the watercourse;
3. Unless the proposed development or alteration of land is clearly outside the riparian assessment area the location of the development shall be determined accurately by survey in relation to the WDP Area to determine whether a development permit application is required.

### **Guidelines**

4. A development permit is required, except where specified under the Exemptions Section, for development or land alteration on land identified as a riparian assessment area within the WDP Area. Where not exempt, development requiring a development permit includes any of the following associated with or resulting from residential, commercial or industrial activities or ancillary activities to the extent that they are subject to local government powers under local government legislation:
  - a. removal, alteration, disruption or destruction of vegetation;
  - b. disturbance of soils;

- c. construction or erection of buildings and structures;
- d. creation of non-structural impervious or semi-impervious surfaces;
- e. flood protection works (with the exception of those constructed during emergency events);
- f. construction of roads, trails, docks, wharves and bridges;
- g. provision and maintenance of sewer and water services;
- h. development of drainage systems;
- i. development of utility corridors; and
- j. subdivision as defined under Section 455 of the *Local Government Act*.

**Development shall be in accordance with the following guidelines:**

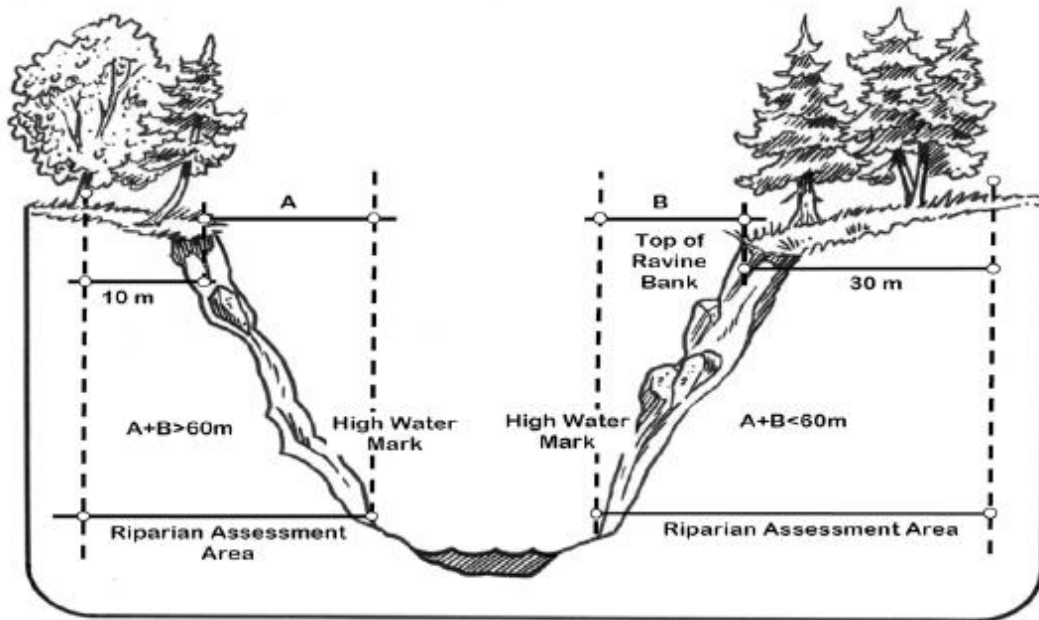
- 5. All development proposals subject to this permit will be assessed by a Qualified Environmental Practitioner (QEP) in accordance with the Riparian Areas Regulation established by the Provincial and/or Federal governments as used elsewhere in the Province.
- 6. A WDP shall not be issued prior to the RDCK ensuring that a QEP has submitted a report certifying that they are qualified to carry out the assessment, that the assessment methods have been followed, and provides in their professional opinion that a lesser setback will not negatively affect the functioning of a watercourse or riparian area and that the criteria listed in the Riparian Areas Regulation has been fulfilled.
- 7. The Riparian Areas Regulation implemented through the WDP does not supersede other Federal, Provincial and or local government requirements, including that of other development permit areas, building permits, flood covenants, Federal or Provincial authorization. Land subject to more than one development permit area designation must ensure consistency with the guidelines of each development permit area, to provide comprehensive stewardship of both fish and wildlife habitat.

**Exemptions**

The WDP area does not apply to the following:

- 1. existing construction, alteration, addition, repair, demolition and maintenance of farm buildings and agricultural activities including clearing of land for agricultural purposes;
- 2. existing institutional development containing no residential, commercial or industrial aspect;
- 3. construction, renovation, or repair of a permanent structure if the structure remains on its existing foundation. Only if the existing foundation is moved or extended in to a riparian assessment area would a WDP be required; and

- an area where the applicant can demonstrate that the conditions of the WDP Area have already been satisfied or a development permit for the same area has already been issued in the past and the conditions in the development permit have all been met, or the conditions addressed in the previous development permit will not be affected.



**FIGURE 1: RIPARIAN ASSESSMENT AREA:** means the area within 30 m of the high water mark of a watercourse; within 30 m of the top of the ravine bank in the case of a ravine less than 60 m wide; and within 10 m of the top of the ravine bank in the case of a wider ravine that link aquatic to terrestrial ecosystems and includes both existing and potential riparian vegetation and existing and potential upland vegetation that exerts an influence on the watercourse.

Source: British Columbia Ministry of Environment, *Riparian Areas Regulation Implementation Guidebook*, March 2005

## Development Permit Area #2: Industrial Development Permit (IDP) Area

### Category

The IDP area is designated under Section 488 (1) (a) and (f) of the *Local Government Act* for the establishment of objectives for the protection of the natural environment and form and character of industrial uses within the Plan area.

### Area

- The IDP area is comprised of all privately owned or leased lands designated as Industrial (M) on Schedule 'A.1'.

### Justification

**April 9/2026**

**Proposal Summary** for RE: BP#29084 - Watercourse DP information - 1339 Hamill Lane (PID: 027-792-935) a water Development Permit

1. Riparian assessment at Lot 8 Bulmer Point Drive Watercourse Development Permit (WDP) application.

- Disturbance that has occurred within the covenanted area along Kootenay Lake as described in the Section 219 Covenant (CA7000667) that is registered on title for the subject property (Lot 8)

- Disturbance that has occurred within the 30-meter Development Permit Area associated with Bulmer Creek, which flows through the common strata property between Lot 7 and Lot 8

The scope of work that a QEP included the following:

- Background review of site (site plans, site history, aerial photos, species at risk, environmentally sensitive areas);

- Completed riparian assessment of the property in accordance with the RDCK North Kootenay Lake Electoral Area D Rural Official Community Plan Bylaw No. 2345 and the Riparian Area Protection Regulation (RAPR);

- riparian assessment report including description of terrestrial and aquatic environments and recommendations relating to protection of sensitive habitats;

- Preparation of a mitigation plan to address site impacts

- implement and meet all requirements as per QEP report for mitigation to address the disturbances within riparian area

2. Building Permit Application BP#29084 –

Application of Building was sent on November 04 2025

Owner is proposing a house outside of the covenant areas shown in (CA7000667 and CA000671 which complies with the report conditions. (allowable setbacks from both Kootenay lake and Bulmer’s creek as verified by Riparian assessment Report (attached)

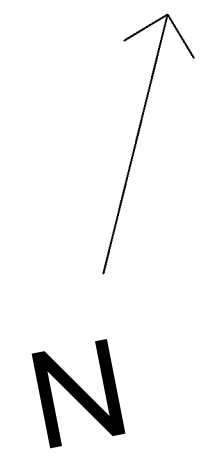
The location of the proposed house also complies with

“Debris Flood Hazard Assessment – Bulmer’s Pointe” dated March 2008 by Skmana Creek Consulting Ltd covenant set back review was completed in January 2026 by Skmana Geo Tech Engineers which states “Based on their field review and understanding of the proposed site development, the proposed building is located outside of the minimum allowed swale offset and can reasonably conclude that the building location satisfies the requirements of the covenant registered on Title. Full Geo Tech report is with BP 29084

3. We are respectfully requesting that since the siting of the house complies within the allowable building area in respect to **all covenants** on the property that the building permit application be allowed to be processed at the same time as this WDP application.

Thank you Dwight Smith

ADDRESS: 1339 HAMILL LANE, JOHNSON'S LANDING B.C.  
 FOLIO: 786.08836.280  
 PID: 027-792-935  
 PLAN#: NES3603  
 STRATA LOT: 8



**LOT 7**

**BULMER'S CREEK**

COMMON STRATA  
PROPERTY

COMMON STRATA  
PROPERTY

**BULMER'S DRIVE**

KOOTENAY LAKE  
BEACH

EXISTING GAZEBO  
EXISTING PATH TO BEACH  
RIPARIAN SET BACK LINE FROM COVENANT

BASEMENT ELEVATION 541.6m  
MAIN FLOOR ELEVATION 545m

**LOT 8**

HAMILL LANE  
ACCESS ROAD EASEMENT

EXISTING SEPTIC LINE  
EXISTING 8 x 12 SHED

**LOT 9**

TOP OF GULLY/SWALE  
NATURAL GULLY/SWALE See Debris Flood Assessment Covenant

COVENANT NO BUILD ZONE

1 Site Plan  
1 : 250

DATE	ISSUE
20251104	PERMIT SET
20251219	TO ENG V3
20260105	RDCK REVIEW
20260114	GEOTECH REVIEW/ENG V4
20260127	CONSTRUCTION DRAWINGS

NO	DATE	ISSUE
01	260316	MASSE SITE PLAN REQUEST
02	260408	WDP

PROJ. NO.: BROW0925BC  
 DRAWN BY: KH  
 CHECKED BY: DS  
 ISSUE DATE: 2026.04.09

DRAWING TITLE  
**SITE PLAN**

SCALE 1:250

DRAWING NO.  
**A2**



1339 Hamill Lane, Bulmer Pointe Subdivision,  
Johnsons Landing BC  
Riparian Assessment V1.0



Prepared for:

**Patricia Brown**

3658 2<sup>nd</sup> Street SW

Calgary, Alberta

April 2, 2026

Prepared by:  
Masse Environmental Consultants  
812 Vernon Street  
Nelson, BC, V1L 4G4

Project Number 2026-1265

#### Riparian Assessment Report Revision History

Name	Date	Version
Sylvie Masse, RPBio and Fiona Lau, ASCT.	April 2, 2026	1.0

#### Disclosure Statement

This report has been prepared by Sylvie Masse, RP Bio and Fiona Lau, ASCT.

1. The authors are Qualified Environmental Professionals as defined under Section 21(2) of the Riparian Areas Protection Regulation,
2. The content of, and all associated statements in, this report are consistent with:
  - a. The Riparian Areas Protection Regulation methodology.
  - b. Provincial and federally recognised best management practises.
  - c. Relevant Species at Risk management Plans under the Species at Risk Act.
  - d. The habitat protection provisions of the Fisheries Act.
3. This report has been prepared for the property owner to support a development permit approval.
4. The report has been prepared for the owner at their expense. The RDCK may rely upon the information and recommendations in this report for the purposes of a Watercourse Development Permit Area application.

#### Limitations

This report has been prepared by the authors solely for the client, Patricia Brown. The content reflects the authors' professional judgment based on the information available at the time of preparation. Any use, reliance, or decisions made by third parties based on this report are solely at their own risk. The authors assume no liability for any damages, losses, or consequences arising from actions or decisions taken by third parties in reliance on this report. A record copy of this report is maintained at Masse Environmental and is considered the official version, superseding any copies or reproductions of the report.

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## 1 INTRODUCTION

Masse Environmental Consultants Ltd. was retained by Patricia Brown (Owner) to conduct a riparian assessment on the Property at 1339 Hamill Lane, Bulmer Point Subdivision, Johnsons Landing (STRATA LOT 8, PLAN NES3603, DISTRICT LOT 7827, KOOTENAY LAND DISTRICT, PID: 027-792-935). The RDCK has determined that a Watercourse Development Permit (WDP) application is required to address disturbance within the Riparian Zone of Kootenay Lake (Covenant Area 8), and the 30 m Development Permit Area associated with nearby Bulmer Creek, located within the Common Property immediately to the north of Lot 8.

A site visit was completed on February 26, 2026 by Sylvie Masse, MSc, RPBio and Fiona Lau, ASCT to conduct a riparian assessment on the Property. The assessment evaluates the current condition within 30 m of the high water mark (HWM) of a watercourse (RDCK Area D), calculates a Streamside Protection and Enhancement Area (SPEA) setback following the methodology of the Riparian Area Protection Regulation (RAPR; BC 2019), identifies potential environmental impacts from the development, and provides recommendations to mitigate for the alteration of the riparian area. It is based on the following regulatory framework and best management practices:

- Electoral Area 'D' Comprehensive Land Use Bylaw 2435, 2016
- RDCK Floodplain Management Bylaw No. 2080, 2009
- British Columbia Riparian Areas Protection Regulation
- British Columbia Water Sustainability Act
- British Columbia Wildlife Act
- Federal Migratory Birds Convention Act
- Kootenay Lake Shoreline Management Guidelines.

## 2 PROJECT OVERVIEW

### 2.1 Site Description

#### 2.1.1 Location

The subject Property is located at 1339 Hamill Lane, Johnson's Landing, BC, along the eastern shore of Kootenay Lake and is within the Bulmer Pointe Subdivision. The Property is 0.95 acres in size with 37.2 m water frontage, has a western aspect and slopes up from the lake with an average gradient of 18%. There is a short steep bank 9-10 m from the HWM ~ 2 m high and 5 m wide. The property is bordered by Kootenay Lake to the west, Bulmer Drive to the east and private property to the south (Lot 9; Figure 1). North of the property there is a narrow band of Common Property owned by the Bulmer Pointe Strata Corporation, which was designed to provide a riparian buffer along Bulmer Creek.

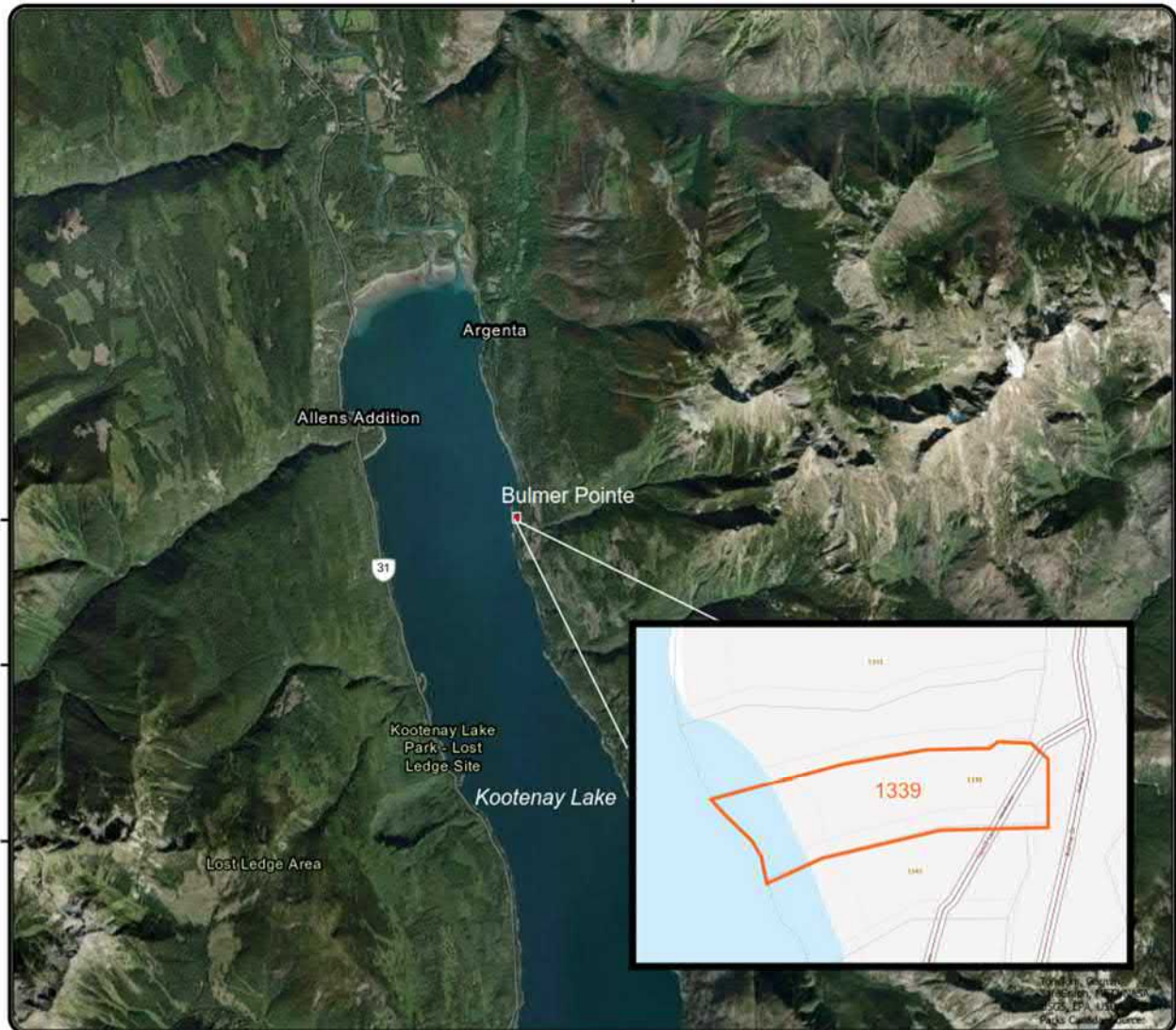


Figure 1. Location Map.

## 2.1.2 Existing Site Conditions

### 2.1.2.1 Permitting

In early May 2016, an accidental fire started in the Kootenay Lake riparian area of Lot 8. The fire rapidly increased in severity due to the presence of buried old wood materials such as pilings, fencing, and dock parts as well as large woody debris (LWD), and required the use of large equipment to extinguish the fire, causing disturbance to the foreshore. A Change Approval and Notification application was submitted soon after, on June 13, 2016, under Section 11 of the Water Sustainability Act and Part 3 of the Water Sustainability Regulations by the Owner to conduct further repairs to the area. Permit A4-6831 was issued

on February 17, 2017 and approved the works as per the plans and specifications contained in the Change Approval and Notification application as per the following:

- Removal of 4 piles of debris, which were created during the containment of the fire, using an excavator.
- Removal of any other household waste encountered during reclamation works.
- Stabilization of slope below the large, mature western red cedar to protect exposed root systems (due to the fire) and prevent future beach erosion. Large rocks found on the property was to be used and back fill placed as necessary.
- Blending in and smoothing tracks created by excavator during fire suppression.
- Planting small Douglas fir trees, willow trees and some native deciduous trees mixed throughout.
- Preparing an ~ 3.5 m wide footpath, within the riparian area using the existing excavator track within the 0-15 m area and gravel to stabilize the sloped footpath at 15-30 m.

Further recommendations were provided by the Provincial Habitat Officer and included in the permit:

- The piles of cobbles and wood located below the high water mark are to be dispersed evenly around the lands below the high water mark;
- Permission is provided to keep up to 15% of the area below the high water mark free of cobbles to be used as a coarse beach; and
- Cobbles must not be placed with the intention of being used for bank protection.

It is important to note that this permit does not supersede Local Government requirements for a Watercourse Development Permit and have any disturbance (other than a 1.5 m wide foot path) within the Kootenay Lake Riparian Covenant and Bulmer Creek WDP area is assessed by a Qualified Environmental Professional.

#### 2.1.2.2 Works Completed

Works conducted under Permit A4-6831 included as observed during site visit on February 27, 2026:

- The access road that was created along the steep bank during fire suppression efforts providing access to the fire suppression equipment is still in place (Photo 1).
- Removal of 4 piles of debris created during fire suppression efforts. No piles were observed.
- All wastes encountered were removed. No wastes were observed.
- Slope stabilization using large rocks in two areas (north and south of access road (Photo 2 and Photo 3). Note that the permit application included slope stabilization in one area below a large cedar tree.

- Smoothing of excavator tracks (none were observed).
- One planted deciduous tree was observed at the north end of bench.

In addition to the approved works the following features were created within the Kootenay Lake Riparian Covenant and Bulmer Creek WDP area:

- Creation of flat bench south of access road within Lot 8 Covenant (Photo 4). Area measures ~ 8 m wide by 15 m long and up to ~1 m high along the west side. Imported crush rock was spread over the bench and angular rocks (such as those found on the foreshore) were used for armouring the bench. This bench has been used as a seating area. The bench appears to extend into Lot 9 Covenant to the south.
- In addition to the access road that was planned to be converted to a footpath, concrete steps were installed along the steep bank from the south bench connecting to the upper property (Photo 5). The concrete footsteps appear to extend into Lot 9 Covenant to the south.
- Creation of flat bench north of access road within Lot 8 Covenant (Photo 6). Area measures ~ 4.5 m wide by 20.4 m long and ~1.5 m high. One deciduous planting was observed at north end of bench as well as invasive species.
- Access road used during fire suppression activities is still in place and goes up steep bank on a diagonal (Photo 1). The road appears to have been smoothed out and was intended to be used as a footpath to access the beach. The road is 3.5 m wide and is wide enough to allow vehicle access, however the RDCK as well as the Covenant restrictions only allows for 1.5 m wide foot path and therefore will need to be altered.
- Rock wall (~20 m long) within Common Property and Bulmer Creek WDP area creating a flat area with gazebo (~2.5 m x 4 m; Photo 7). Rock wall is 14.8 m from Bulmer Creek and gazebo is 1.7 m from the rock wall. Written authorization from the Strata Corporation was given for the use of the Common Property for the rock retaining wall to remain, according to Ryan O' Connor from the Strata Corporation.
- Excavation with concrete footings for new house within the Bulmer Creek 30 m WDP area (Photo 8). Northeast corner is 22.2 m away from Bulmer Creek.
- A small shed (3.9 m by 2.5 m) is 15.9 m from Bulmer Creek (Photo 8).

Refer to Appendix 1 for Site Plan showing existing development.



Photo 1. Access road created during fire suppression activities (Feb. 27, 2026).



Photo 2. Erosion protection north of access road (Feb. 27, 2026).



Photo 3. Erosion protection south of access road (Feb. 27, 2026).



Photo 4. Bench south of access road within Lot 8 covenant (Feb. 27, 2026). Note large rocks used to armour bench.



Photo 5. Concrete steps from south bench to upper property (Feb. 27, 2026).



Photo 6. Bench north of access road within Lot 8 covenant (Feb. 27, 2026). Note invasive weeds growing on bench.



Photo 7. Rock wall and gazebo within Bulmer Creek common property (Feb. 27, 2026).



Photo 8. Excavation site with footings for future house and small shed at the back on the left of photo (Feb. 27, 2026).

### 2.1.3 Watercourses and Aquatic Habitat

#### 2.1.3.1 Kootenay Lake

Kootenay Lake borders the Property along the western boundary for ~37 m; and consists of a rocky shore with a gradual slope of ~ 18% gradient and is composed of a mixture of angular cobbles and gravels, dominated by large cobbles (Photo 9 and Photo 10) with a few pieces of LWD.

Kootenay Lake is a long, narrow, and deep lake with a surface area of approximately 400 km<sup>2</sup>. Kootenay Lake's main inflows are the Kootenay River to the south and the Duncan River to the north. The lake drains through the West Arm into the Kootenay River. Lake levels can vary up to 4 m throughout the year, affecting the extent of the exposed shoreline (Fortis 2024).

Kootenay Lake supports a variety of fish species, including several species of regional interest such as Kokanee (*Oncorhynchus nerka*), Rainbow Trout (*O. mykiss*), Bull Trout (*Salvelinus confluentus*; BC-Blue-Listed; SARA Special Concern), White Sturgeon (*Acipenser transmontanus* pop.1; BC Red-Listed, SARA Endangered), Westslope Cutthroat Trout (*O. clarki lewisi*; BC Blue-Listed; SARA Special Concern), and Burbot (*Lota lota* pop.1; BC-Red-Listed). ). Most of the Property shoreline is located within Foreshore Inventory Mapping (FIM) Segment 100 which includes the Bulmer Creek fan and continues to the south. The aquatic habitat index rating for this segment was rated as high (Table 3; Ecoscape 2016). The shoreline has potential to support juvenile fish rearing and adult staging habitat, migration and shore spawning (Photo 10). The Bulmer Pointe Subdivision is located ~ 5 km south of the Duncan River mouth and delta. This area has been identified as critical habitat for White Sturgeon and where millions of kokanee fry migrate through from the Duncan River every spring. A Section 16 Reserve was established in the bay

immediately north of Lot 8, starting in front of the common property. This bay is generally north facing and provides shelter from the southerly winds.



Photo 9. Rocky foreshore in front of Lot 8 looking south (Feb. 27, 2026).



Photo 10. Mixture of substrate on foreshore looking west (Feb. 27, 2026).

#### 2.1.3.2 Bulmer Creek

Bulmer Creek is a third order tributary stream with an approximate length of 6 km and drainage area of 8.14 km<sup>2</sup>; flows west into Kootenay Lake and originates from the Purcell Mountains. The channel had an average channel width of 2.1 m, average stream gradient of 14% and step-pool morphology and becomes further confined upstream of the Bulmer Drive culvert (Photo 11 to Photo 13). There was no distinct channel within the foreshore of Kootenay Lake (Photo 14). The first 33 m of the stream channel has been modified by the owners of Lot 7 to the north with armouring placed instream (Photo 15). The channel was completely dry throughout the Bulmer Pointe Subdivision at the time of the survey; however, flows were observed in the stream channel upstream of the Argenta-Johnsons Landing Road. There was no fisheries information for Bulmer Creek (Habitat Wizard), however, due to the lack of fish habitat, and stream flows is considered non fish bearing.

A debris flood hazard assessment was completed in 2008 (Skmana) to provide more site specific information and recommendations for mitigation of flood hazards within the Bulmer Pointe Subdivision. An initial geotechnical hazard assessment had been completed in 2007 by Golder Associates Ltd. to identify the potential for geotechnical hazards and identified the need for mitigation works to mitigate for the potential risks of debris flows. Mitigation measures included in the Skmana report consisted of the construction of a 2 m high berm along either side of Bulmer Creek extending 100 m downstream from Bulmer Drive. North berm is visible on left side of Photo 11.



Photo 11. Bulmer Creek showing engineered berm on north side of stream (Feb. 27, 2026).



Photo 12. Stream becomes confined in steep gully upstream of Bulmer Road (Feb. 27, 2026).



Photo 13. Culvert (1400 mm) under Bulmer Drive (Feb. 27, 2026).



Photo 14. View of Bulmer Creek mouth with no distinct channel (Feb. 27, 2026).



Photo 15. View of lower Bulmer Creek with armoring (Feb. 27, 2026).



Photo 16. Upstream view of Bulmer Creek upstream of subdivision with water flowing in the channel (Feb. 27, 2026).

#### 2.1.4 Vegetation

The Property is within the West Kootenay Interior Cedar – Hemlock dry, warm (ICHdw1) biogeoclimatic subzone. This subzone typically ranges in elevation from 600-1225 m and is characterized by moist warm springs; hot to very hot dry summers; and mild dry winters with a moderately shallow snowpack. This subzone is highly productive with a great variety of plant and wildlife species (MacKillop and Ehman 2016). Invasive plant species are widespread in the ICHdw1 and include knapweeds (*Centaurea* spp.), sulphur cinquefoil (*Potentilla recta*), and hawkweeds (*Hieracium* spp.) (MacKillop and Ehman 2016).

The riparian area consists of a narrow band of trees (5 to 7 m wide) along the steep bank as most of the property was cleared of vegetation (Photo 17 and Photo 18). Mature tree species on the bank include Western redcedar (*Thuja plicata*), Douglas fir (*Pseudotsuga menziesii*), and birch (*Populus papyrifera*). Shrubs include Oregon grape (*Mahonia aquifolium*), red-osier dogwood (*Cornus sericea*), rose (*Rosa* sp.), and Western red cedar regen. Cottonwood regen was present below the HWM. The benched area west of the narrow riparian band is lacking native vegetation and had invasive weed species such as knapweed, mullein and grasses. The area east of the vegetation band still within Lot 8 Covenant was also cleared.



Photo 17. View of narrow band of vegetation along foreshore, disturbed area with invasive species and grasses (Feb. 27, 2026). Note sweeping trees along bank.



Photo 18. Vegetation along access trail to lake (Feb. 27, 2026).

#### 2.1.5 Wildlife

The riparian area on the Property has potential to provide perching and stop-over habitat for migratory birds. The proximity to Bulmer Creek and protected riparian area within the Common Property and potential use as a migration corridor from the lake to upland habitat may increase the potential for wildlife sightings. Small mammals are likely to utilize areas that are denser with shrubs and understory vegetation. Large mammals such as ungulate and bears are likely to frequent the area.

#### 2.1.5.1 Species at Risk

Species at risk information pertinent to the Property was obtained through searches using Habitat Wizard, iMap, and iNaturalist (2025) with a 5 km buffer. Based on these queries, white sturgeon (*Acipenser transmontanus* – Upper Kootenay River population, BC Red-Listed, SARA Endangered), Great Blue Heron (*Ardea herodias herodias*, BC Blue- Listed), Monarch (*Danaus Plexippus*, BC Red-Listed, SARA Endangered), northern rubber boa (*Charina bottae*, SARA species of special concern), western skink (*Plestiodon skiltonianus*, BC Blue-Listed, SARA species of special concern), and western toad (*Anaxyrus boreas*, SARA species of special concern) were identified as potentially occurring within the buffered area.

The property is within the Southern Mountain Caribou (*Rangifer tarandus*; BC Red listed; SARA Endangered) critical habitat polygon. Southern Mountain Caribou have largely been extirpated from their historic range; however, efforts to recover the population may result in successful reintroductions that will depend on suitable intact habitat.

Some of these species are wide ranging or have broad habitat requirements and may transiently use the area, however; no critical habitat, dens, or nests for species at risk were identified during the site visit.

#### 2.1.6 Invasive Species

Invasive species observed during field surveys include knapweed, and mullein. Other species may be present but were not observed due to the time of year. Spotted knapweed and mullein are listed as priority 4 “Strategic Control”. Priority 4 indicates that the species is widespread, beyond landscape level control, and has a relatively low impact.

## 2.2 Proposed Development

The proposed development includes the construction of a house and garage within the Kootenay Lake and Bulmer Creek 30 m WDP area immediately east of the designated building envelope footprint (Skmana 2008). The area has already been cleared of vegetation, and the excavation and installation of footings has been completed (Photo 8). No additional clearing or excavation will be required in association with building of the house. Refer to Site Description (Section 2.2) for current site conditions.

The Owner is proposing to retain a portion of the existing sitting area (~25 m<sup>2</sup>; Photo 4) within the lake Covenant area, along with a 2 m wide access trail within the existing alignment (Photo 1), in order to support safe and practical access for an immediate family member with limited mobility. This trail width allows for a small side by side off-road vehicle to drive down to the sitting area and beach.

### 3 REGULATORY OVERVIEW

#### 3.1 Lot 8 Covenants

The Bulmer Pointe Subdivision, a 32.52 ha property, was subdivided in 2007 and included the creation of 25 residential lots along the Kootenay Lake foreshore. A riparian assessment was completed for the entire property to assess potential impacts of the subdivision on the riparian habitat along Kootenay Lake. Riparian setbacks were developed for each lot and were based on riparian vegetation, wildlife habitat, topography and building envelopes to ensure riparian habitat is maintained over the entire property, with each lot having its own setback (Masse & Miller 2007).

Riparian covenants were registered on title against each lot by the Kamloops Land Title Office on August 15, 2018. This agreement includes the exemption from Section 19.0 – Watercourse Development Permit Area of Kootenay Lake and Lardeau Valley portion of Electoral Area 'D' Official Community Plan Bylaw No. 1996, 2009 (which preceded Bylaw 2435, 2016). Riparian covenant for Lot 8 is 20 m. The covenant specifies that no buildings, structures, or improvements of any kind be constructed within the riparian setback, as well as no removal or disturbance to any soil, vegetation (with the exception of weeds and dead foliage and the removal of any foliage as is reasonably necessary for, or incidental to, fire prevention) or trees, however provides allowance for a 1.5 m wide walkway to access the beach (2018). Any area damaged by the subdivision shall be rehabilitated.

A covenant was also designated on the south side of Lot 8 as a no build area in the event of a debris flood (Skmana 2008).

#### 3.2 Streamside Protection and Enhancement Area (SPEA)

The Streamside Protection and Enhancement Area for the property was determined by completing a detailed assessment following the Riparian Area Protection Regulation (RAPR) methodology.

The SPEA for Kootenay Lake was determined as 15 m from the high-water mark, as the SPEA is determined based on the zone of sensitivity (ZOS) with the greatest width. The large woody debris (LWD) and litter ZOS were plotted 15 m inland from the HWM of Kootenay Lake and the shade ZOS is 0 m since the property is generally west facing (Table 1). Even though the SPEA was determined to be less than the 20 m Covenant riparian setback, the Covenant takes precedence.

The SPEA for Bulmer Creek was based on an average channel width of 2.1 m, an average gradient of 14% and a step-pool morphology, which results in a zone of sensitivity (ZOS) for large woody debris (LWD) and

litter fall of 10 m from the high-water mark. The shade ZOS is based on 3 times the channel width totalling 6.3 m to the south of the high water mark of the stream channel.

Results for the Zones of Sensitivity (ZOS) and SPEA are presented in Table 1 and the SPEA is mapped in Appendix 1.

Table 1. Results of detailed RAPR assessment for Kootenay Lake and Bulmer Creek.

Feature Type	SPVT <sup>1</sup>	Zones of Sensitivity			SPEA <sup>3</sup>
		LWD <sup>2</sup>	Litter fall	Shade	
Kootenay Lake	TR	15 m	15 m	0 - m	15 m <sup>4</sup>
Lot 8 Covenant					20 m
Bulmer Creek	TR	10	10	6.3	10 m

<sup>1</sup> SPVT: site potential vegetation type (TR-tree)

<sup>2</sup> LWD- large woody debris

<sup>3</sup>SPEA- streamside protection and enhancement area

<sup>4</sup>Note that the 20 m Covenant riparian setback takes precedence over the 15 m SPEA in this case.

### 3.3 Kootenay Lake Shoreline Management Guidelines

The Kootenay Lake Foreshore Integrated Management Planning (FIMP; Schleppe and McPherson 2022), the Foreshore Inventory Mapping (FIM; KLP 2023) and the Kootenay Lake Shoreline Management Guidelines (KLP 2020) were used to help determine site-specific risks for riparian habitat, Ktunaxa Nation cultural values, and archaeological resources along the shoreline. The Property is located within FIM Segment 100. The aquatic habitat index rating was rated as High for this segment, with high rating for juvenile rearing and potential for staging, migration and shore spawning (Table 2). A Section 16 Reserve (which is a temporary designation for the protection of sensitive fisheries areas and wetlands from habitat alteration or destruction) has been designated immediately north of Lot 8, starting in front of the common property.

Table 2. Aquatic and archaeological risk results

Aquatic Habitat Index Rating (AHI)	Aquatic Sensitivity	Archaeological Risk	Enhanced Engagement Required
High	Yes	Orange	Yes

The ecological risk matrix provided in the Kootenay Lake Shoreline Management Guidelines indicates a risk assessment rating of “Very High” associated with the removal of native riparian vegetation.

Kootenay Lake is part of the traditional territory of the Ktunaxa, Sinixt and Syilx (Okanagan) First Nations and archaeological evidence is documented at multiple sites along the shoreline and mountain sides of Kootenay Lake, and most of the east side of Kootenay Lake is considered to have archaeological potential.

The cultural values engagement matrix provided in the Kootenay Lake Shoreline Management Guidelines outlines the level of risk a proposed activity would have on cultural values and the type of engagement required. As per the guidelines, Segment 100 would require enhanced engagement with Ktunaxa for any land development, including building permit applications and native vegetation removal.

The archaeological risk matrix provided in the Kootenay Lake Shoreline Management Guidelines outlines the level of risk a proposed activity would have on potential archaeological sites. As per the guidelines, Segment 100 was assigned an orange classification, which indicates a high level of risk associated with native vegetation modification/removal and moderate level of risk associated with building permit applications. A high level of risk pertains to localized and/or relatively superficial effects in locations where the physical evidence is likely to be very sparse, highly localized, deeply buried and/or already too highly disturbed to be of further archaeological value. Consulting an archaeologist is recommended in situations where the activity is deemed to be high risk. A moderate level of risk is one where the activity itself might not constitute a potential threat to intact archaeological materials but ancillary activities (e.g. those involving access to, from or across land or some disturbance of mineral soil) may cause impacts to known archaeological sites or where such are likely to be present. Following an Archaeological Chance Find Procedures is recommended for moderate risk activities.

#### 4 IMPACT ASSESSMENT

Historical photos from the 2007 riparian assessment were compared to current conditions (Photo 19 to Photo 24). The riparian area consisted of a mixture of young coniferous trees mostly Douglas fir within the first 15 m with some deciduous species mixed throughout and abundant LWD (Masse & Miller 2007). Douglas fir were present in relatively low density in this section (Photo 20, 22 and 24). Some of the deciduous shrubs had been cleared at the time, but vigorous regrowth was expected. Mature Douglas fir and Western red cedar were present along the bank. Much of the vegetation west of the mature trees along the bank has been removed and the ground recontoured to create two benches, one on either side of the access road and the access road. Most of the LWD that was present along the shoreline has been removed (Photo 22). Imported material including pea gravel was placed on top of the south bench. Most of the vegetation along the foreshore of the property has been removed leaving a narrow band of trees, 5 to 7 m wide. Some of this removal may have been caused by the accidental fire that happened in 2016,

but was to be restored as per Permit A4-6831. Vegetation east of the narrow band of trees within the covenant was also removed.

The impacts associated with the proposed retention of the sitting area and a slightly wider access path reduces the restoration area by ~35 m<sup>2</sup>. Prior to disturbances, the proposed sitting area and lower section of the path had less dense vegetation (Photo 24) and therefore the impacts associated with this development are relatively small as long as the surfaces remain pervious (i.e. gravel and soil).

The rock wall and gazebo located within the Common Property and the Bulmer Creek WDP area are outside of the 10 m SPEA. The small shed is also outside of the Bulmer Creek 10 m SPEA and outside of the Common Property.

Table 3. Summary of Areas of Impact

Area ID	Area Description	Area (m <sup>2</sup> )	Vegetation removal	Large Woody Debris (LWD) removal	Development
A	North Lower Bench	155 m <sup>2</sup>	Yes- Removed during 2016 fire and fire suppression efforts.	Yes- Removed during 2016 fire suppression.	Yes- Flat bench was created (20 m long by 4.5 m wide). Owner attempted replanting but failed.
B	South Lower Bench	90 m <sup>2</sup>	Yes-Vegetation removed during 2016 fire and suppression efforts.	Yes- Removed during 2016 fire suppression.	Yes- Flat bench was created for seating area (15 m long x 8 m wide). Imported pea gravel placed on sitting area surface).
C	Access Road	85 m <sup>2</sup>	Yes-3.5 m wide path cleared to create machine access for fire suppression and clean-up.	Yes- along shoreline as part of fire suppression work in 2016.	Yes- Access road cut into bank to accommodate machine for fire suppression in 2016.
D	North Upper Bench	105 m <sup>2</sup>	Yes- Vegetation removed and replaced with lawn.	Unknown	Yes- Area was excavated to create flat bench. Rock retaining walls constructed at north end within Strata Lot.
E	South Upper Bench and Foreshore Access Stairs	80 m <sup>2</sup>	Yes-Vegetation removed. Currently exposed dirt.	Unknown	Yes- Area was regraded to create flat bench in front of house. Concrete access stairs (6 m x 1.5 m) placed at south-west corner of property encroaching into neighbour's covenant.
F	South Strip of Trees	55 m <sup>2</sup>	Potential understorey vegetation damaged by rock placement around conifer trees.	Unknown	Yes-Rock was placed around trees.



Photo 19. View of disturbed foreshore and narrow strip of trees along bank (Feb. 27, 2026).



Photo 20. View of vegetated area in front of mature trees along foreshore in 2007 (March 27, 2007).



Photo 21. View of disturbed foreshore, access road and narrow strip of trees along bank (Feb. 27, 2026).



Photo 22. View of natural vegetation in 2007 and abundant LWD (March 27, 2007).



Photo 23. View of disturbed foreshore, access road and narrow strip of trees along bank (Feb. 27, 2026).



Photo 24. View of natural vegetation in 2007 and area where existing seating area is (March 27, 2007).

## 5 MEASURES TO PROTECT THE INTEGRITY OF THE SPEA

This section provides measures to protect the integrity of the SPEA as described in the RAPR, as well as recommended best management practices to minimize the potential effects of development.

### 5.1 Danger Trees

Professional assessment of danger trees is outside the scope of this report and should be conducted by a certified Danger Tree Assessor. If trees are felled within the Lot 8 Covenant and the Bulmer Creek SPEA, they should be left as coarse woody debris and should be replaced according to the provincial tree replacement criteria. Where possible, danger trees should be topped rather than felled.

### 5.2 Windthrow

The foreshore of Kootenay Lake is susceptible to strong winds and may be prone to windthrow. A formal assessment of windthrow risk is beyond the scope of this report and any such assessment should be conducted by a Registered Professional Forester (RPF). If trees felled within the Lot 8 Covenant and the Bulmer Creek SPEA, they should be left as coarse woody debris and should be replaced according to the provincial tree replacement criteria (BC 2019). Trees with wildlife attributes (cavities, peeling bark), should be left standing where they do not pose a threat to structures.

### 5.3 Slope Stability

The property is mostly gently sloping towards Kootenay Lake with a short steeper bank within the Riparian Covenant with some signs of instability including trees sweeping. A geotechnical assessment was conducted on January 26, 2026 by Skmana to assess the house foundation subgrade and the subgrade was found to be suitable for development as foundation support. Further assessment of geotechnical hazard is beyond the scope of this report, and any such assessment should be led by a P.Geol. or P.Eng.

### 5.4 Protection of Trees and Vegetation in the SPEA

The Property in the vicinity of the development was historically cleared and is already developed therefore limited options for the protection of the Riparian Covenant are present at the location. The following protection measures should be taken to minimize further impacts to existing and potential trees and vegetation within the Riparian Covenant:

- Avoid removal of any vegetation within the Riparian Covenant.
- Protect existing tree roots along the Riparian Covenant boundary.
- Plant native vegetation in areas that have been impacted to improve the resilience of existing and potential vegetation.

- Any future developments on the Property should consider clearly identifying limits of disturbance along the Riparian Covenant boundary to prevent impacts to trees and their roots. This should include: no trenching through the root zone, no paving around trees, no changes to ground level around trees, no parking under trees, and no concrete washout or other pollutants around trees (BC 2019).

#### 5.5 Encroachment

Protection measures to minimize effects of encroachment within the Riparian Covenant include:

- Avoid any new developments or additional disturbance within the Riparian Covenant.
- Restrict human use to existing trails, and minimize noise, bank disturbance and vegetation trampling (BC 2019).

#### 5.6 Erosion and Sediment Control

Erosion and sediment control measures shall be incorporated as required, to protect riparian vegetation and water quality in Kootenay Lake.

#### 5.7 Stormwater Management

The following mitigation measures will help decrease stormwater impacts to the Riparian Covenant:

- Design roof rainwater collection systems that direct rainwater into suitable landscape features which can absorb and utilize runoff.
- Do not use the vegetated area within the Riparian Covenant to filter sediment laden water.
- Stormwater management infrastructure should not be located in the Riparian Covenant and any discharges to streams will require meeting the Water Sustainability Act and any other applicable legislation.

#### 5.8 Floodplain Concerns

No floodplain concerns were noted with respect to the Riparian Covenant as the property is elevated above the flood level of Kootenay lake. A debris flood hazard assessment was completed in 2008 (Skmana) to provide more site specific information and recommendations for mitigation of flood hazards within the Bulmer Pointe Subdivision.

A debris flood hazard assessment was completed in 2008 (Skmana) to provide more site specific information and recommendations for mitigation of flood hazards within the Bulmer Pointe Subdivision. An initial geotechnical hazard assessment had been completed in 2007 by Golder Associates Ltd. to

identify the potential for geotechnical hazards and identified the need for mitigation works to mitigate for the potential risks of debris flows. Mitigation measures included in the Skmana report consisted of the construction of a 2 m high berm along either side of Bulmer Creek extending 100 m downstream from Bulmer Drive. A covenant was also designated on the south side of Lot 8 as a no build area in the event of a debris flood.

#### 5.9 Fish and Wildlife Protection

To minimize disturbance to fish, wildlife, and their habitat, the following measures are recommended for the property:

- Avoid any modifications to the foreshore substrate.
- Avoid removal of coarse woody debris (logs > 10 cm in diameter) and riparian area vegetation, including standing dead and wildlife trees, unless they are considered a hazard tree.
- No barriers will be developed that will impact natural fish/wildlife movement along the shoreline.

#### 5.10 Invasive Plant Management

Invasive species were observed in the riparian area. Land use activities can potentially increase prevalence of these invasive plant species which can out-compete native riparian vegetation, causing damage to habitat and ecosystem function. Central Kootenay Invasive Species Society (CKISS) manages invasive species regionally using a prioritized approach. The management strategy for a specific species is based on a number of factors including the phase of invasion and the potential impacts of the species (CKISS 2023). The subject Property is located within the Kaslo North Invasive Plant Management Area, and the priority species list can be found at <https://ckiss.ca/invasive-plant-priority-lists/>.

The following mitigation measures are recommended to reduce impacts of plant species:

- Monitor existing invasive plants to ensure they do not spread or increase in distribution.
- Hand pull invasive plants, where possible.

## 6 PROPOSED RESTORATION PLAN

Mitigation for impacts of the development within the Kootenay Lake Lot 8 Riparian Covenant and the Bulmer Creek SPEA is based on the hierarchy of mitigation options outlined in RDCK 2024 to achieve a net loss of habitat. This is achieved by applying the following mitigation options: 1. Avoidance of environmental impacts; 2. Minimizing unavoidable impacts; 3. On-site restoration; and 4. Offsetting impacts that cannot be minimized.

In the case of this property, the unauthorized works have already occurred, of which ~270 m<sup>2</sup> of vegetation removal below the steep bank and 166 m<sup>2</sup> above the steep bank, and ~256 m<sup>2</sup> of ground disturbance within Lot 8 Riparian Covenant. Avoidance and minimizing is therefore not possible.

In order to restore the impacted area and protect the Lot 8 Riparian Covenant, restoration and mitigation measures are detailed in Table 4.

Table 4. Detailed Restoration Prescription for Impacted Areas.

Area ID	Area Description	Area (m <sup>2</sup> )	Proposed Restoration
A	North Lower Bench	155 m <sup>2</sup>	Remove weeds. Regrade area back to natural grade and create rough and loose conditions. Add habitat complexity. Place 5 large woody debris pieces and create rock clusters. Plant 40 plants in clusters of 3-5 plants. Flood tolerant species to be planted on lower half of this area (Table 5). Seed exposed soils on upper bank with Interior dryland seed mix (Table 6).
B	South Lower Bench	55 m <sup>2</sup>	Retain existing vegetation. Remove placed fill material from east corner to natural ground. Create rough and loose conditions where soil is compacted outside of the proposed sitting area. Plant 20 plants in clusters of 3-5 plants. Flood tolerant species to be planted on lower half of this area (Table 5). Add habitat complexity by adding rock clusters on beach area
C	Access Road	28 m <sup>2</sup>	Reduce path from 3.5 to 2.0 m wide walking path (to support safe and practical access for an immediate family member with limited mobility). Create rough loose conditions along edges to be planted. Plant 10 low shrubs and perennials (Table 5) and spread riparian seed mix (Table 6).
D	North Upper Bench	40 m <sup>2</sup>	Retain existing vegetation. Create rough and loose conditions. Plant 20 plants- a minimum of 5 native trees and assortment of native shrubs and perennials (Table 5). Seed disturbed soils lightly with native dryland seed mix (Table 6).
E	South Upper Bench and bank	70 m <sup>2</sup>	Retain existing vegetation. Create Rough and loose conditions. Plant 35 plants- a minimum of 5 native trees and assortment of native shrubs and perennials (Table 5). Seed disturbed soils lightly with riparian seed mix (Table 6).
F	South Strip of Trees		None

The final plant species selection and quantities should be determined by a QEP in consultation with the Owner and will be dependent on plant availability at the time of ordering. The re-vegetation design should provide mixed plant structure and layering. The proposed revegetation will require ongoing maintenance (i.e., irrigation and weeding) until it becomes established.

Table 5. Recommended riparian plant species.

Common Name	Latin Name
<b>Areas A and B- North and South Lower Benches</b>	
Lower portion	
black cottonwood*	Populus trichocarpa
red osier dogwood*	Cornus sericea
sandbar willow*	Salix exigua
Sitka willow*	Salix sitchensis
Nootka rose *	Rosa nootkana
prickly rose*	Rosa acicularis
Oregon Grape	Mahonia Aquifolium
Upper portion	
Douglas fir	Pseudotsuga menziesii
Oregon grape	Mahonia Aquifolium
kinnikinnick	Arctostaphylos uva-ursi
common snowberry	Symphoricarpos albus
Scoulers willow	Salix scouleriana
Douglas maple	Acer glabrum
shrubby penstemon**	Penstemon fruticosus
golden aster	Heterotheca villosa
<b>Area C – Access Trail</b>	
kinnikinnick	Arctostaphylos uva-ursi
common snowberry	Symphoricarpos albus
common yarrow**	Achillea millefolium
shrubby penstemon**	Penstemon fruticosus
Golden aster**	Hethrotheca villosa
<b>Areas D and E– North and South Upper Benches</b>	
Douglas fir	Pseudotsuga menziesii
Western larch	Larix occidentalis
Paper birch	Populus trichocarpa
Douglas maple	Acer glabrum
Saskatoon berry	Amelanchier almifolia
Scouler's willow	Salix scouleriana
Nootka rose	Rosa nootkana
prickly rose	Rosa acicularis
Oregon grape	Mahonia Aquifolium
kinnikinnick	Arctostaphylos uva-ursi
common snowberry	Symphoricarpos albus
shrubby penstemon**	Penstemon fruticosus
golden aster**	Hethrotheca villosa

\*Flood tolerant species

\*\*suitable for dry rocky slopes

Table 6. Recommended Interior Dryland Seed Mix blend.

Common Name	Latin Name	Weight %
Bluebunch Wheatgrass	<i>Pseudoroegneria spicata</i>	30%
Sandberg’s Bluegrass	<i>Poa secunda</i>	25%
Idaho Fescue	<i>Festuca idahoensis</i>	15%
Slender Wheatgrass	<i>Elymus trachycaulus</i>	10%
Annual Ryegrass	<i>Lolium multiflorum</i>	10%
June grass	<i>Koeleria macrantha</i>	5%
Sand Dropseed	<i>Sporobolus cryptandrus</i>	4%
Yarrow	<i>Achillea millefolium</i>	1%

\*Applied at a rate of 20 kg/ha

#### General Planting and Maintenance Guidelines

- Planting should not occur during periods of hot dry weather unless they are irrigated daily.
- Locally adapted native plants are preferable to those collected or grown outside the region. The recommended plant species and seed mix are available from Sagebrush Nursery in Oliver <https://sagebrushnursery.com>. Alternatively, the Owners can transplant native species from other local areas with permission from landowner.
- Planting holes should be a minimum of 3 times the size of the pot.
- Specific locations of plants should be directed by a QEP.
- Use transplant fertilizer (ie. Mykes Mycorrhizae Tree and Shrub or similar) as per manufacturers specifications in each planting hole.
- Mix topsoil/compost and native soils together in each planting hole (50/50 mix).
- Within the beach restoration area, rake back native beach substrate around each plant (~2-3" deep), to protect soil from erosion.
- Within the riparian restoration area, place 3-4 inches deep of mulch around each plant.
- Ensure the objective of the restoration is to naturalize the riparian area and not create a landscaped garden.
- Regularly irrigate new plantings during the plant establishment period for a minimum of 2-years and thereafter as required.

## 7 ENVIRONMENTAL MONITORING AND POST INSPECTION

The anticipated effort for environmental monitoring and professional guidance on this project includes the following:

- QEP will be on site for a pre-construction meeting with Owner and Contractor to ensure that all parties are aware of environmental sensitivities and familiar with the proposed restoration plan and mitigation measures.

- QEP to provide guidance during site re-grading, habitat complexing and revegetation, as required.
- QEP will conduct a post-construction site visit once planting is complete to assess compliance and completion of the project.
- QEP will prepare an environmental summary report, and submit to the RDCK once restoration is complete.

Further effectiveness monitoring of restoration measures may also be required by the RDCK. The following indicators of success of riparian plantings should be documented:

- Plant composition includes mostly native trees, shrubs and grasses with <10% invasive species.
- Establishment of >50% of planted riparian species after 3 full years would be a reasonable indication that the restoration plan has been successfully completed.

## 8 CONCLUSION

The riparian area assessment conducted within the 30 m WDP Area in accordance with the Riparian Areas Protection Regulation determined that disturbance had occurred within the 20 m Riparian Covenant measured from the HWM of Kootenay Lake. To mitigate for the riparian vegetation removal and ground disturbance a restoration plan is proposed. The plan includes recontouring the benched area, reducing access road to a 2.0 m wide path and revegetation of the impacted areas within the Riparian Covenant.

We trust the information provided in this report meets your current requirements. If you have any questions or require further information do not hesitate to contact the undersigned.

Prepared by:



Sylvie Masse, RPBio  
Masse Environmental Consultants Ltd.



Fiona Lau, ASCT  
Masse Environmental Consultants Ltd.

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APPENDIX 1. SITE PLAN AND SPEA MAP

**BROWN RESIDENCE**  
LOT 8 - BULMER'S POINTE, B.C.

DATE	ISSUE
20251104	PERMIT SET
20251219	TO ENG V3
20260105	RDCK REVIEW
20260114	GEOTECH REVIEW/ENG V4
20260127	CONSTRUCTION DRAWINGS

NO	DATE	ISSUE
01	260316	MASSE SITE PLAN REQUEST

PROJ. NO.:	BROW0925BC
DRAWN BY:	KH
CHECKED BY:	DS
ISSUE DATE:	2026.03.16

DRAWING TITLE  
**SITE PLAN - FIONA**

DRAWING NO.

**A2.1**



**LEGEND**

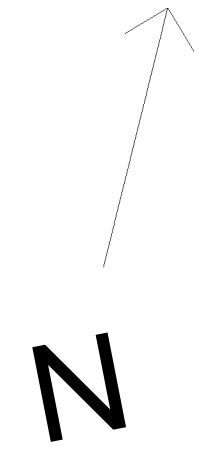
- SPEA (Kootenay Lake 15m and Bulmer Creek 10m)
- WDP and Riparian Assessment Area (30 m)
- Covenant Lines (CA7000667, CA7000671, LB 0206291)
- LWD and Litterfall ZOS (Kootenay Lake 15m and Bulmer Creek 10 m)
- Shade ZOS (Kootenay Lake 0 m and Bulmer Creek 6.3 m)
- Areas of Impact (Area A, Area B, Area C, Area D, Area E, Area F)
- Existing Structures (Gazebo and Bunkhouse)
- Proposed New Home and Garage Footprint

Drawing: Site Plan  
Address: 1339 Hamill Lane, Bulmer  
Pointe Subdivision, Johnsons Landing

Edited by: Fiona Lau  
Date: March 24, 2026



APPENDIX 2. MITIGATION PLAN



**BROWN RESIDENCE**  
LOT 8 - BULMER'S POINTE, B.C.

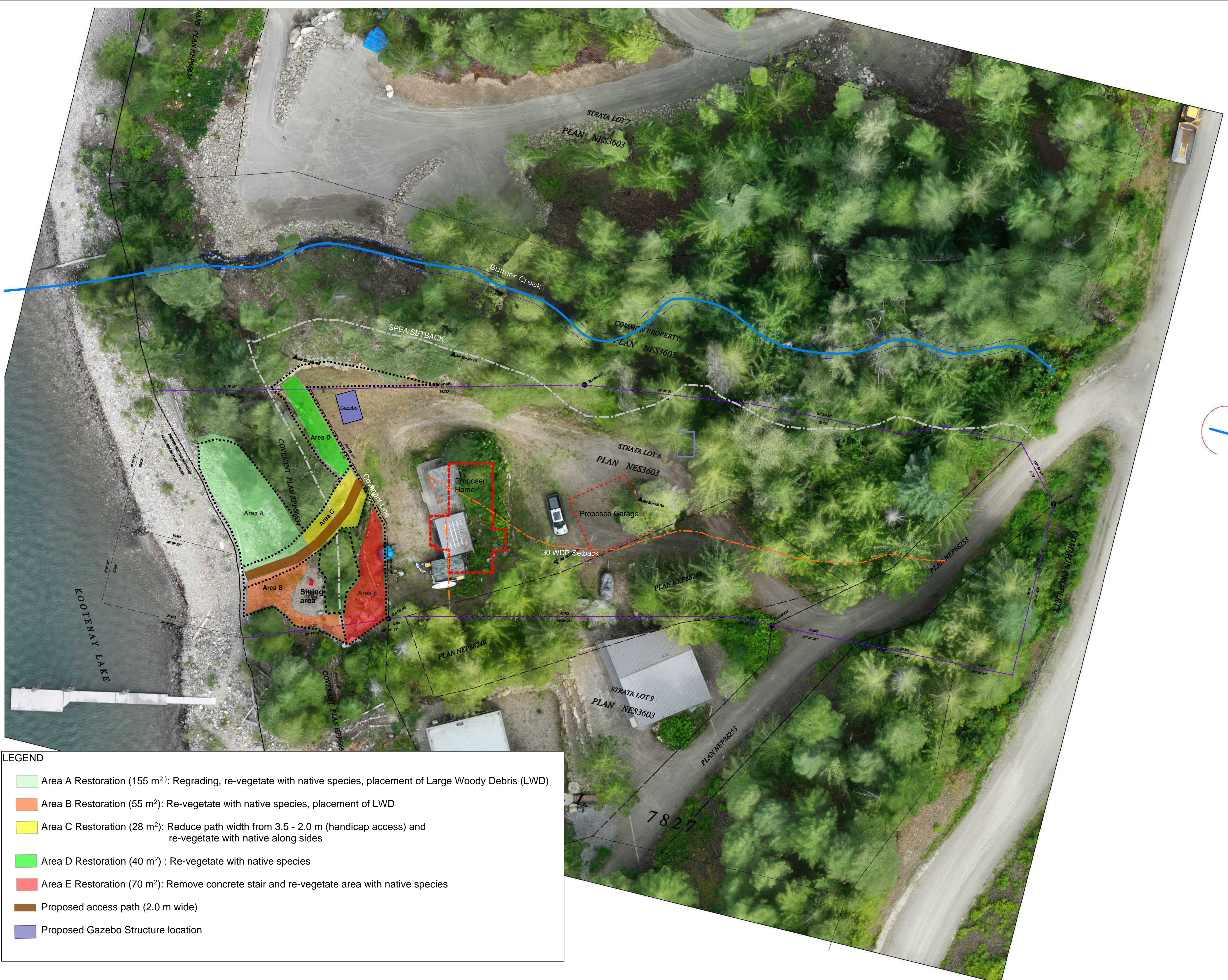
DATE	ISSUE
20251104	PERMIT SET
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20260114	GEOTECH REVIEW/ENG V4
20260127	CONSTRUCTION DRAWINGS

NO	DATE	ISSUE
01	260316	MASSE SITE PLAN REQUEST

PROJ. NO.:	BROW0925BC
DRAWN BY:	KH
CHECKED BY:	DS
ISSUE DATE:	2026.03.16

DRAWING TITLE  
**SITE PLAN - FIONA**

DRAWING NO.  
**A2.1**



**LEGEND**

- Area A Restoration (155 m<sup>2</sup>): Re-grading, re-vegetate with native species, placement of Large Woody Debris (LWD)
- Area B Restoration (55 m<sup>2</sup>): Re-vegetate with native species, placement of LWD
- Area C Restoration (28 m<sup>2</sup>): Reduce path width from 3.5 - 2.0 m (handicap access) and re-vegetate with native along sides
- Area D Restoration (40 m<sup>2</sup>): Re-vegetate with native species
- Area E Restoration (70 m<sup>2</sup>): Remove concrete stair and re-vegetate area with native species
- Proposed access path (2.0 m wide)
- Proposed Gazebo Structure location



# Bylaw Amendment Referral Form

Amendments to Zoning Bylaws for Electoral Areas A, B, C, D and I

Date: May 04, 2026

You are requested to comment on the attached bylaw amendments for potential effect on your agency’s interests. We would appreciate your response within 30 days (**PRIOR TO JUNE 04, 2026**). If no response is received within that time, it will be assumed that your agency’s interests are unaffected.

## PURPOSE OF THE BYLAW AMENDMENTS:

- Density Calculation:** The proposal would change how residential density is calculated in most R1, R2, R3, and R4 zones from a “lot area” basis to a “site area” basis. This does not increase the total density allowed on a property, but it does change how that density can be achieved. Under the current zoning, a subdivision is typically required to reach maximum density, whereas under the proposed approach, the same density could be achieved without subdividing the land.
- Housekeeping:** Clarify the bylaws through formatting and terminology updates.

## Background

In January and February 2026, the Rural Affairs Committee directed staff to prepare amendments to revise how density is calculated in most residential zones within Areas A, B, C, and D, as well as one zone in Area I. The intent is to return to the previous density calculation method used before the adoption of Bylaws 2953, 2954, 2955, 2956, and 2958 in 2024.

## Current Density Framework

- Most residential lots may have two dwelling units, with permitted forms varying by lot size.
- Lots under 1.0 Hectare (ha) may have a Single Detached House (SDH) with a Secondary Suite (SS), or a Duplex.
- Lots 1.0 ha or larger may have a SDH with a SS, or a Duplex, or a SDH and an Accessory Dwelling Unit (ADU).
- Larger lots may achieve higher densities through a subdivision or a bylaw amendment.

## Previous and Proposed Density Framework

- Previous density regulations generally followed the format: One Principal Use (typically SDH or Duplex) is permitted per ‘x’ ha of site area.
- The number and types of dwellings allowed depend on lot size, with larger lots progressively allowing more dwellings.
- For example, the Area D Country Residential (R2) zone previously permitted one Principal Use per 1.0 hectare of site area and did not allow detached ADUs. An example based off this zone of the current and proposed changes are shown below with respect to lot sizes:

Lot Size	Number and Types of Dwellings Permitted			
	Current		Proposed	
	Without subdividing	After subdivision	Without subdividing	After subdivision
0.5 ha	2 Dwellings (SFD and SS <u>or</u> Duplex)	<i>Lot size insufficient to subdivide</i>	2 Dwellings (SFD and SS <u>or</u> Duplex)	<i>Lot size insufficient to subdivide</i>
1.0 ha	2 Dwellings (SFD and SS <u>or</u> SFD and ADU <u>or</u> Duplex)	<i>Lot size insufficient to subdivide</i>	2 Dwellings (SFD and SS <u>or</u> Duplex)	<i>Lot size insufficient to subdivide</i>

<b>2.0 ha</b>	2 Dwellings (SFD and SS <u>or</u> SFD and ADU <u>or</u> Duplex)	4 Dwellings (2 SFD and 2 SS <u>or</u> 2 Duplexes)	4 Dwellings (2 SFD and 2 SS <u>or</u> 2 Duplexes)	4 Dwellings (2 SFD and 2 SS <u>or</u> 2 Duplexes)
<b>5.0 ha</b>	2 Dwellings (SFD and SS <u>or</u> SFD and ADU <u>or</u> Duplex)	10 Dwellings (5 SFD and 5 SS <u>or</u> 5 Duplexes)	10 Dwellings (5 SFD and 5 SS <u>or</u> 5 Duplexes)	10 Dwellings (5 SFD and 5 SS <u>or</u> 5 Duplexes)
<b>10.0 ha</b>	2 Dwellings (SFD and SS <u>or</u> SFD and ADU <u>or</u> Duplex)	20 Dwellings (10 SFD and 10 SS <u>or</u> 10 Duplexes)	20 Dwellings (10 SFD and 10 SS <u>or</u> 10 Duplexes)	20 Dwellings (10 SFD and 10 SS <u>or</u> 10 Duplexes)

**Example: A 4.0 ha lot in the Area D Country Residential (R2) Zone**

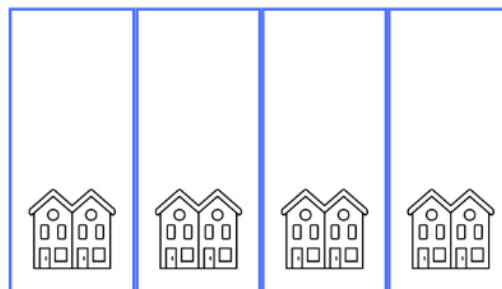
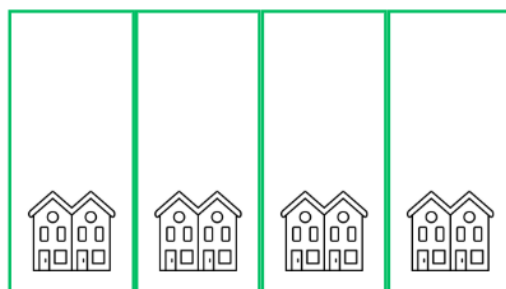
**Current**

(2 Dwellings per lot)

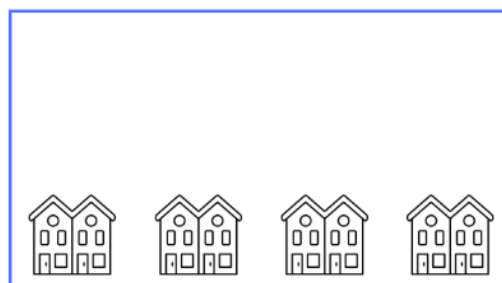
**Proposed**

(2 Dwellings per 1.0 ha of site area)

**With Subdivision**



**Without Subdivision**



The proposed changes vary by zone and electoral area. Please review the attached amendment bylaws and concurrence table for specific details. Historically, the permission for secondary suites and accessory dwelling units varied and across bylaws and are reflected in the proposed changes. At a minimum, all proposed zones permit at least one SDH and SS regardless of lot size. Please note that in Electoral Area 'I,' changes are proposed only to the Rural Residential I (R3I) zone. Full existing bylaws can be found online [here](#).

The proposed amendment bylaws are the following:

<b>Amendment Bylaws</b>	<b>Land Use Bylaws</b>
Electoral Area 'A' Comprehensive Land Use Amendment Bylaw No. 3049	Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013
Electoral Area 'B' Comprehensive Land Use Amendment Bylaw No. 3050	Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013
Electoral Area 'C' Comprehensive Land Use Amendment Bylaw No. 3051	Electoral Area 'C' Comprehensive Land Use Bylaw No. 2317, 2013
Electoral Area 'D' Comprehensive Land Use Amendment Bylaw No. 3052	Electoral Area 'D' Comprehensive Land Use Bylaw No. 2435, 2016

**GUIDE FOR AREA SPECIFIC INFORMATION:**

Electoral Area	Relevant pages
Electoral Area 'A'	1-11, 34-40
Electoral Area 'B'	1-5, 12-18, 41-50
Electoral Area 'C'	1-5, 19-25, 51-60
Electoral Area 'D'	1-5, 26-31, 60-67
Electoral Area 'I'	1-5, 32-33, 68

<b>ALR STATUS:</b> The proposed amendments include properties within and outside the ALR.	<b>ZONING DESIGNATIONS:</b> The proposed amendments apply to multiple zones across five RDCK zoning bylaws.
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**APPLICANT:**  
RDCK Planning Department

**Please provide your response via email.**

**If you are an RDCK commission member, do not respond via email. Your response is the commission's response which staff will collect from the meeting minutes.**

**SADIE CHEZENKO, PLANNER 1  
REGIONAL DISTRICT OF CENTRAL KOOTENAY**

- TRANSPORTATION West Kootenay
  - AGRICULTURAL LAND COMMISSION
  - REGIONAL AGROLOGIST
  - MUNICIPAL AFFAIRS & HOUSING
  - INTERIOR HEALTH HBE Team, Nelson
  - WATER SYSTEM OR IRRIGATION DISTRICT
    - WYNDEL IRRIGATION DISTRICT
    - KITCHENER IMPROVEMENT DISTRICT
    - NORTH CANYON IMPROVEMENT DISTRICT
    - ORDE CREEK IMPROVEMENT DISTRICT
    - RYKERT IRRIGATION DISTRICT
    - SOUTH CANYON IMPROVEMENT DISTRICT
    - CRESTON DYKING DISTRICT
    - NICKS ISLAND DYKING DISTRICT
    - CLAYTON CREEK IMPROVEMENT DISTRICT
    - WHITEHEAD WATERWORKS DISTRICT
    - GLADE IRRIGATION DISTRICT
    - PLAYMOR JUNCTION IMPROVEMENT DISTRICT
    - VOYKIN IMPROVEMENT DISTRICT
    - BRILLIANT WATERWORKS DISTRICT
    - ROBSON-RASPBERRY IMPROVEMENT DISTRICT
    - ARMSTRONG BAY IMPROVEMENT DISTRICT
  - UTILITIES
    - FORTIS, BC HYDRO, NELSON HYDRO, COLUMBIA POWER
- REGIONAL DISTRICT OF CENTRAL KOOTENAY  
DIRECTORS FOR:
- A  B  C  D  E  F  G  H  I  J  
 K
- ALTERNATIVE DIRECTORS FOR:
- A  B  C  D  E  F  G  H  I  J  
 K

- FIRST NATIONS**
- KTUNAXA NATION COUNCIL (ALL REFERRALS)
    - YAQAN NU?KIY (LOWER KOOTENAY)
    - ?AKINK'UM?ASNUQ?I?IT (TOBACCO PLAINS)
    - ?AKISQNUK (COLUMBIA LAKE)
    - ?AQ'AM (ST. MARY'S)
  - OKANAGAN NATION ALLIANCE
    - C'ƏC'ƏWIXA? (UPPER SIMILKAMEEN)
    - K?K'ƏR'MÍWS (LOWER SIMILKAMEEN)
    - SNPÍNTKTN (PENTICTON)
    - STQA?TKWƏ?WT (WEST BANK)
    - SUKNAQÍN (OKANAGAN)
    - SWÍWS (OSOYOOS)
    - SPAXOMƏN (UPPER NICOLA)
  - SHUSWAP NATION TRIBAL COUNCIL
    - KENPÉSQT (SHUSWAP)
    - QW?EWT (LITTLE SHUSWAP)
    - SEXQELTQÍN (ADAMS LAKE)
    - SIMPCW (SIMPCW)
    - SKEMTSIN (NESKONLITH)
    - SPLATSÍN (SPLATSÍN FIRST NATION)
    - SKEETCHESTN INDIAN BAND
    - TK'EMLUPS BAND
  - SINIXT CONFEDERACY

<input checked="" type="checkbox"/> APHC AREAS A, B, C, D, I & CVAAC <input checked="" type="checkbox"/> RDCK FIRE SERVICES	
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The personal information on this form is being collected pursuant to *Regional District of Central Kootenay Planning Procedures and Fees Bylaw No. 2457, 2015* for the purpose of determining whether the application will affect the interests of other agencies or adjacent property owners. The collection, use and disclosure of personal information are subject to the provisions of FIPPA. Any submissions made are considered a public record for the purposes of this application. Only personal contact information will be removed. If you have any questions about the collection of your personal information, contact the Regional District Privacy Officer at 250.352.6665 (toll free 1.800.268.7325), [info@rdck.bc.ca](mailto:info@rdck.bc.ca), or RDCK Privacy Officer, Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4.

# RDCK Electoral Areas A, B, C, D, I: Zoned and Unzoned

 RDCK Extent

**Areas A, B, C, D, I Only:**

 Area Boundary

 Unzoned

 Zoned

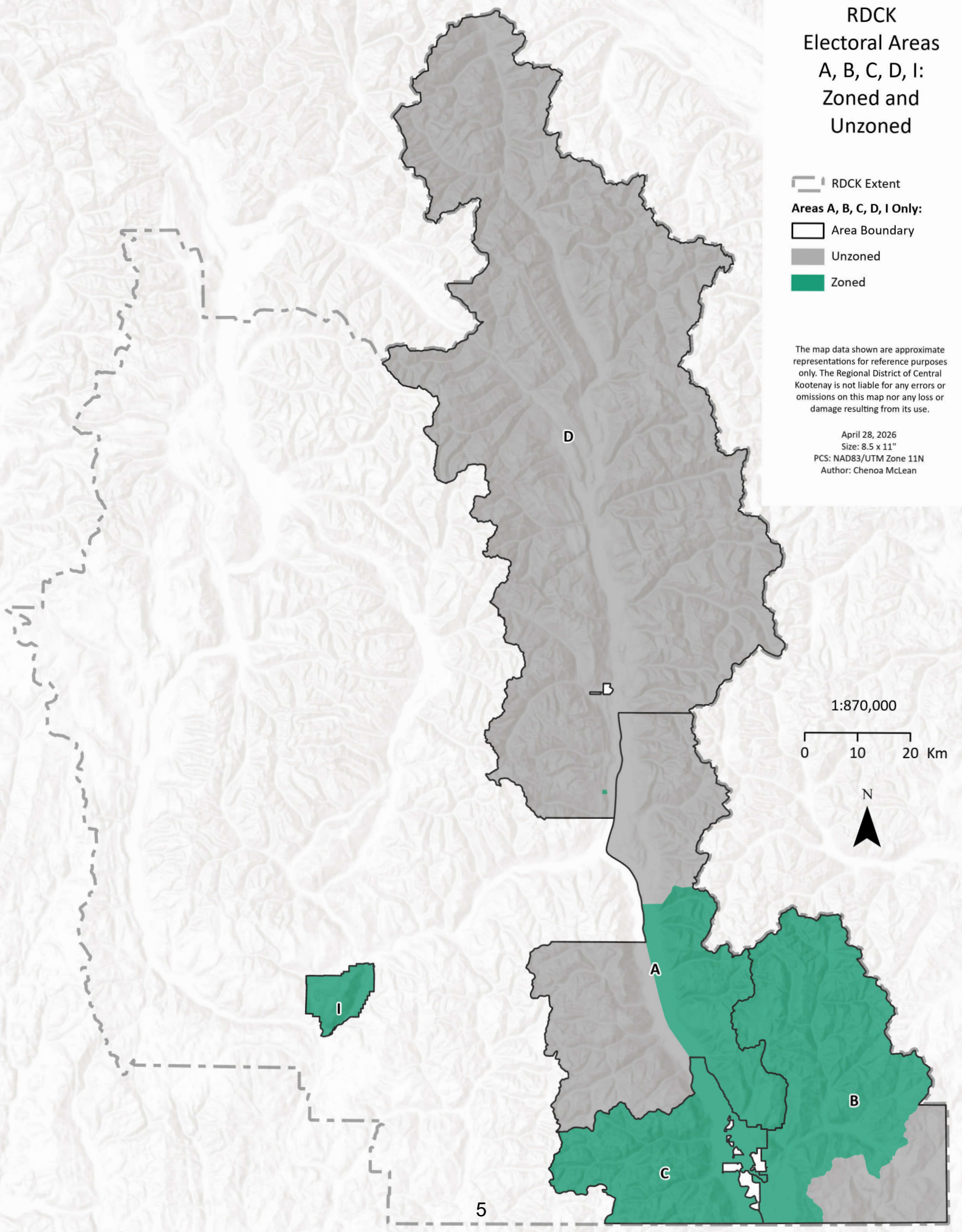
The map data shown are approximate representations for reference purposes only. The Regional District of Central Kootenay is not liable for any errors or omissions on this map nor any loss or damage resulting from its use.

April 28, 2026

Size: 8.5 x 11"

PCS: NAD83/UTM Zone 11N

Author: Chenoa McLean



1:870,000

0 10 20 Km



# REGIONAL DISTRICT OF CENTRAL KOOTENAY

## Bylaw No. 3049

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A Bylaw to amend Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013

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WHEREAS it is deemed expedient to amend the Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013, and amendments thereto.

NOW THEREFORE the Board of the Regional District of Central Kootenay, in open meeting assembled, HEREBY ENACTS as follows:

### APPLICATION

1 That Schedule 'B' of Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013 be amended as follows:

A. That Section 18(108)(c) General Regulations for Accessory Dwelling Units be amended as follows:

Despite section 108(b) secondary suites are permitted on all lots.

B. That a new Section 18(108)(k) General Regulations for Accessory Dwelling Units be added as follows:

An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1 or R2 zoned lot.

C. That Section 19(1) Suburban Residential (R1) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing  
Single Detached Housing

Accessory Uses:

Accessory Buildings or Structures  
Accessory Dwelling Unit, subject to section 18(108)  
Accessory Tourist Accommodation  
Day Care Facility  
Home Based Business  
Horticulture  
Keeping of Farm Animals  
Sale of Site Grown Horticultural Produce

- D. That Section 19(2) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare  
Community Water or Sewer: 0.4 hectare  
On Site Only: 1.0 hectare

- E. That Section 19(2)(B) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare  
Community Water or Sewer: 0.4 hectare  
On Site Only: 1.0 hectare

- F. That Section 19(3) Suburban Residential (R1) Development Regulations be amended as follows:

The maximum Site Coverage is 50 percent of the lot area.

- G. That Section 19(4) Suburban Residential (R1) Development Regulations be amended as follows:

Buildings and structures shall not cover more than 33 percent of the lot area.

- H. That Section 20(1) Country Residential (R2) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing  
Single Detached Housing

Accessory Uses:

Accessory Buildings or Structures  
Accessory Dwelling Unit, subject to Section 18(108)  
Accessory Tourist Accommodation  
Day Care Facility  
Home Based Business  
Horticulture  
Keeping of Farm Animals  
Sale of Site Grown Horticultural Produce  
Temporary Guest Accommodation  
Portable Sawmills (for processing of materials harvested on-site only)

- I. That Section 20(2)(B) Country Residential (R2) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be 1.0 hectare.

- J. That Section 21(1) Rural Residential (R3) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Horticulture
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Single Detached Housing
- Veterinary Clinics

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Tourist Accommodation
- Home Based Business
- Keeping of Farm Animals
- Sale of Site Grown Horticultural Produce
- Secondary Suite
- Small Scale Wood Product Manufacturing
- Temporary Guest Accommodation
- Temporary Farmworker Housing

- K. That Section 21(2)(B) Rural Residential (R3) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be 2.0 hectares.

- L. That Section 22(1) Rural Resource (R4) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Horse Riding Stables and Boarding Stables
- Horticulture
- Kennels
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Nurseries, Greenhouses and Florists
- Single Detached Housing
- Veterinary Clinics

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Tourist Accommodation

Home Based Business  
Keeping of Farm Animals  
Sale of Site Grown Agricultural Produce  
Secondary Suite  
Portable Sawmills  
Temporary Guest Accommodation  
Temporary Farmworker Housing

- M. That Section 22(2)(B) Rural Resource (R4) Development Regulations be amended as follows:

The minimum site area for each Principal Use is 2.0 hectares.

- N. That Section 25(1) Agriculture 1 (AG1) Permitted Uses be amended as follows:

Principal Uses:

Agriculture

All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time.

Kennel

Micro Cultivation, Cannabis

Micro Processing, Cannabis

Nursery, Cannabis

Nursery, Greenhouses and Florist

Single Detached Housing

Standard Cultivation, Cannabis

Standard Processing, Cannabis

Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures

Accessory Tourist Accommodation

Home Based Business

Farmworker Dwelling Unit

Portable Sawmills for processing of material harvested on site only

Secondary Suite

Temporary Farmworker Housing (may require ALC non adhering residential use approval)

- O. That Section 25(2) Agriculture 1 (AG1) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 2.0 hectares.

- P. That a new Section 25(2)(c) Agriculture 1 (AG1) Development Regulations be added as follows:

Only one Single Detached Housing is permitted per lot.

Q. That Section 26(1) Agriculture 2 (AG2) Permitted Use be amended as follows:

Principal Uses:

Agriculture

All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time

Kennel

Micro Cultivation, Cannabis

Micro Processing, Cannabis Nursery, Cannabis

Nursery, Greenhouses and Florist

Single Detached Housing

Standard Cultivation, Cannabis

Standard Processing, Cannabis

Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures

Accessory Tourist Accommodation

Home Based Business

Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)

Farmworker Dwelling Unit

Portable Sawmills for processing of material harvested on site only

Secondary Suite

Temporary Farmworker Housing (may require ALC non adhering residential use approval)

R. That Section 26(2) Agriculture 2 (AG2) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 4.0 hectares.

S. That a new Section 26(2)(C) Agriculture 2 (AG2) Development Regulations be added as follows:

Only one Single Detached Housing is permitted per lot.

2 This Bylaw shall come into force and effect upon its adoption.

**CITATION**

3 This Bylaw may be cited as "**Electoral Area 'A' Comprehensive Land Use Amendment Bylaw No. 3049, 2026.**"

READ A FIRST TIME this [Date] day of [Month], 20XX.

READ A SECOND TIME this [Date] day of [Month] ,20XX.

READ A THIRD TIME this [Date] day of [Month] , 20XX.

APPROVED under **Section 52 (3)(a) of the Transportation Act** this [Date]day of [Month] , 20XX.

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Approval Authority,  
Ministry of Transportation and Transit

ADOPTED this [Date] day of [Month] , 20XX.

\_\_\_\_\_  
Aimee Watson, Board Chair

\_\_\_\_\_  
Mike Morrison, Corporate Officer

## REGIONAL DISTRICT OF CENTRAL KOOTENAY

# Bylaw No. 3050

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A Bylaw to amend Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013

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WHEREAS it is deemed expedient to amend the Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013, and amendments thereto.

NOW THEREFORE the Board of the Regional District of Central Kootenay, in open meeting assembled, HEREBY ENACTS as follows:

### APPLICATION

1 That Schedule 'B' of Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013 be amended as follows:

A. That Section 16(108)(c) General Regulations, Accessory Dwelling Units be amended as follows:

Despite section 108(b) secondary suites are permitted on all lots

B. That a new Section 16(108)(k) General Regulations, Accessory Dwelling Units be added as follows:

An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1, R2 or R3 zoned lot.

C. That Section 17(1) Suburban Residential (R1) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Single Detached Housing

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Dwelling Unit, subject to Section 16(108)
- Accessory Tourist Accommodation
- Day Care Facility
- Home Based Business
- Horticulture
- Keeping of Farm Animals
- Sale of Site Grown Horticultural Produce

- D. That Section 17(2) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare

Community Water or Sewer: 0.4 hectare

On Site Only: 1.0 hectare

- E. That Section 17(2)(B) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare

Community Water or Sewer: 0.4 hectare

On Site Only: 1.0 hectare

- F. That Section 18(1) Country Residential (R2) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing

Single Detached Housing

Accessory Uses:

Accessory Buildings or Structures

Accessory Dwelling Unit, subject to Section 16(108)

Accessory Tourist Accommodation

Day Care Facility

Home Based Business

Horticulture

Keeping of Farm Animals

Sale of Site Grown Horticultural Produce

Portable Sawmills (for processing of materials harvested on-site only)

- G. That Section 18(2) Country Residential (R2) Development Regulations be amended as follows:

The minimum lot size for subdivision is 1.0 hectare.

- H. That Section 18(2)(B) Country Residential (R2) Development Regulations be amended as follows:

The minimum site area for each Principal Use is 1.0 hectare.

- I. That Section 19(1) Rural Residential (R3) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing

Horticulture  
Micro Cultivation, Cannabis  
Micro Processing, Cannabis  
Nursery, Cannabis  
Single Detached Housing  
Veterinary Clinics

Accessory Uses:

Accessory Buildings or Structures  
Accessory Dwelling Unit, subject to Section 16(108)  
Accessory Tourist Accommodation  
Home Based Business  
Keeping of Farm Animals  
Sale of Site Grown Horticultural Produce  
Small Scale Wood Product Manufacturing  
Temporary Farmworker Housing

- J. That Section 19(2) Country Residential (R2) Development Regulations be amended as follows:

The minimum lot size for subdivision is 2.0 hectares.

- K. That Section 19(2)(B) Country Residential (R2) Development Regulations be amended as follows:

The minimum site area for each Principal Use is 2.0 hectares.

- L. That Section 20(1) Rural Resource (R4) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing  
Horse Riding Stables and Boarding Stables  
Horticulture  
Kennels  
Micro Cultivation, Cannabis  
Micro Processing, Cannabis  
Nursery, Cannabis  
Nurseries, Greenhouses and Florists  
Single Detached Housing  
Veterinary Clinics

Accessory Uses:

Accessory Buildings or Structures  
Accessory Tourist Accommodation  
Home Based Business  
Keeping of Farm Animals  
Sale of Site Grown Agricultural Produce  
Secondary Suite  
Portable Sawmills  
Temporary Farmworker Housing

- M. That a Section 20(2) Rural Resource (R4) Development Regulations be amended as follows:

The minimum lot size for subdivision is 2.0 hectares.

- N. That Section 20(2)(B) Rural Resource (R4) Development Regulations be amended as follows:

The minimum site area for each Principal Use is 2.0 hectares.

- O. That Section 23(1) Agriculture 1 (AG1) Permitted Uses be amended as follows:

Principal Uses:

Agriculture

All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time.

Kennel

Micro Cultivation, Cannabis

Micro Processing, Cannabis

Nursery, Cannabis

Nursery, Greenhouses and Florist

Single Detached Housing

Standard Cultivation, Cannabis

Standard Processing, Cannabis

Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures

Accessory Tourist Accommodation

Home Based Business

Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)

Farmworker Dwelling Unit

Portable Sawmills for processing of material harvested on site only

Secondary Suite

Temporary Farmworker Housing (may require ALC non adhering residential use approval)

- P. That Section 23(2) Agriculture 1 (AG1) Development Regulations be amended as follows:

The minimum lot size for subdivision is 4.0 hectares.

- Q. That a new Section 23(2)(c) Agriculture 1 (AG1) Development Regulations be added as follows:

Only one Single Detached Housing is permitted per lot.

R. That Section 24(1) Agriculture 2 (AG2) Permitted Use be amended as follows:

Principal Uses:

Agriculture  
All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time  
Kennel  
Micro Cultivation, Cannabis  
Micro Processing, Cannabis  
Nursery, Cannabis  
Nursery, Greenhouses and Florist  
Single Detached Housing  
Standard Cultivation, Cannabis  
Standard Processing, Cannabis  
Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures  
Accessory Tourist Accommodation  
Home Based Business  
Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  
Farmworker Dwelling Unit  
Portable Sawmills for processing of material harvested on site only  
Secondary Suite  
Temporary Farmworker Housing (may require ALC non adhering residential use approval)

S. That Section 24(2) Agriculture 2 (AG2) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.

T. That a new Section 24(2)(C) Agriculture 2 (AG2) Development Regulations be added as follows:

Only one Single Detached Housing is permitted per lot.

U. That Section 25(1) Agriculture 2 (AG2) Permitted Use be amended as follows:

Principal Uses:

Agriculture  
All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time  
Kennel

Micro Cultivation, Cannabis  
 Micro Processing, Cannabis  
 Nursery, Cannabis  
 Nursery, Greenhouses and Florist  
 Single Detached Housing  
 Standard Cultivation, Cannabis  
 Standard Processing, Cannabis  
 Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures  
 Accessory Tourist Accommodation  
 Home Based Business  
 Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  
 Farmworker Dwelling Unit  
 Portable Sawmills for processing of material harvested on site only  
 Secondary Suite  
 Temporary Farmworker Housing (may require ALC non adhering residential use approval)

- V. That Section 25(2) Agriculture 3 (AG3) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 30 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.

- W. That a new Section 25(2)(C) Agriculture 2 (AG2) Development Regulations be added as follows:

Only one Single Detached Housing is permitted per lot.

- 2 This Bylaw shall come into force and effect upon its adoption.

**CITATION**

- 3 This Bylaw may be cited as **“Electoral Area ‘B’ Comprehensive Land Use Amendment Bylaw No. 3050, 2026”**

READ A FIRST TIME this [Date] day of [Month], 20XX.

READ A SECOND TIME this [Date] day of [Month], 20XX.

READ A THIRD TIME this [Date] day of [Month], 20XX.

APPROVED under **Section 52 (3)(a) of the Transportation Act** this [Date] day of [Month], 20XX.

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Approval Authority,  
Ministry of Transportation and Transit

ADOPTED this [Date] day of [Month], 20XX.

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Aimee Watson, Board Chair

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Mike Morrison, Corporate Officer

## REGIONAL DISTRICT OF CENTRAL KOOTENAY

# Bylaw No. 3051

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A Bylaw to amend Electoral Area 'C' Comprehensive Land Use Bylaw No. 2317, 2013

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WHEREAS it is deemed expedient to amend the Electoral Area 'C' Comprehensive Land Use Bylaw No. 2317, 2013, and amendments thereto.

NOW THEREFORE the Board of the Regional District of Central Kootenay, in open meeting assembled, HEREBY ENACTS as follows:

### APPLICATION

1 That Electoral Area 'C' Comprehensive Land Use Bylaw No. 2317, 2013 Schedule 'B' Zoning Bylaw be amended as follows:

A. That Section 17(107)(c) Accessory Dwelling Units be amended as follows:

Despite section 107(b) secondary suites are permitted on all lots.

B. That Section 17(107)(d) Accessory Dwelling Units be amended as follows:

The maximum gross floor area is 90.0 square metres.

C. That a new Section 17(107)(k) Accessory Dwelling Units be added as follows:

An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1, R2 or R3 zoned lot.

D. That Section 18(1) Suburban Residential (R1) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing  
Single Detached Housing

Accessory Uses:

Accessory Buildings or Structures  
Accessory Dwelling Unit, subject to section 17(107)  
Accessory Tourist Accommodation  
Day Care Facility  
Home Based Business  
Horticulture  
Keeping of Farm Animals  
Sale of Site Grown Horticultural Produce

E. That Section 18(2) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare

Community Water or Sewer:0.4 hectare

On Site Only: 1.0 hectare

F. That Section 18(2)(B) Suburban Residential (R1) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be required as follows:

LEVEL OF SERVICES PROVIDED

Community Water and Sewer: 0.1 hectare

Community Water or Sewer:0.4 hectare

On Site Only: 1.0 hectare

G. That Section 18(3) Suburban Residential (R1) Development Regulations be amended as follows:

The maximum Site Coverage is 50 percent of the lot area.

H. That Section 18(4) Suburban Residential (R1) Development Regulations be amended as follows:

Buildings and structures shall not cover more than 33 percent of the lot area.

I. That Section 19(1) Country Residential (R2) Permitted Uses be amended as follows:

Principal Uses:

Duplex Housing

Single Detached Housing

Accessory Uses:

Accessory Buildings or Structures

Accessory Dwelling Unit, subject to section 17(107)

Accessory Tourist Accommodation

Day Care Facility

Home Based Business

Horticulture

Keeping of Farm Animals

Sale of Site Grown Horticultural Produce

Portable Sawmills (for processing of materials harvested on-site only)

J. That Section 19(2)(B) Country Residential (R2) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be 1.0 ha.

K. That Section 20(1) Rural Residential (R3) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Horse Riding Stables and Boarding Stables
- Horticulture
- Kennels
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Nurseries, Greenhouses and Florists
- Single Detached Housing
- Veterinary Clinics

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Dwelling Unit, subject to section 17(107)
- Accessory Tourist Accommodation
- Day Care Facility
- Home Based Business
- Keeping of Farm Animals
- Sale of Site Grown Horticultural Produce
- Portable Sawmills
- Small Scale Wood Product Manufacturing
- Temporary Farmworker Housing

L. That Section 20(2)(B) Rural Residential (R3) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be 2.0 ha.

M. That Section 21(1) Rural Resource (R4) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Horse Riding Stables and Boarding Stables
- Horticulture
- Kennels
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Nurseries, Greenhouses and Florists
- Single Detached Housing
- Veterinary Clinics

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Tourist Accommodation
- Day Care Facility
- Home Based Business
- Keeping of Farm Animals
- Portable Sawmills
- Sale of Site Grown Agricultural Produce
- Secondary Suite
- Temporary Farmworker Housing

N. That Section 21(2)(B) Rural Resource (R4) Development Regulations be amended as follows:

The minimum site area for each Principal Use shall be 2.0 ha.

O. That Section 24(1) Agriculture 1 (AG1) Permitted Uses be amended as follows:

Principal Uses:

- Agriculture
- All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time
- Kennel
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Nursery, Greenhouses and Florist
- Single Detached Housing
- Standard Cultivation, Cannabis
- Standard Processing, Cannabis
- Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Tourist Accommodation
- Home Based Business
- Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)
- Farmworker Dwelling Unit
- Portable Sawmills for processing of material harvested on site only
- Secondary Suite
- Temporary Farmworker Housing (may require ALC non adhering residential use approval)

P. That Section 24(2) Agriculture 1 (AG1) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 4 hectares.

Q. That a new Section 24(2)(C) Agriculture 1 (AG1) Development Regulations be inserted as follows:

Only one Single Detached Housing is permitted per lot.

R. That Section 25(1) Agriculture 2 (AG2) Permitted Uses be amended as follows:

Principal Uses:

Agriculture

All activities designated as "Farm Use" as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time

Kennel

Micro Cultivation, Cannabis

Micro Processing, Cannabis

Nursery, Cannabis

Nursery, Greenhouses and Florist

Single Detached Housing

Standard Cultivation, Cannabis

Standard Processing, Cannabis

Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

Accessory Buildings or Structures

Accessory Tourist Accommodation

Home Based Business

Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)

Farmworker Dwelling Unit

Portable Sawmills for processing of material harvested on site only

Secondary Suite

Temporary Farmworker Housing (may require ALC non adhering residential use approval)

S. That Section 25(2) Agriculture 2 (AG2) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.

T. That a new Section 25(2)(C) Agriculture 2 (AG2) Development Regulations be inserted as follows:

Only one Single Detached Housing is permitted per lot.

U. That Section 26(1) Agriculture 3 (AG3) Permitted Uses be amended as follows:

Principal Uses:

Agriculture

All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time

- Kennel
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Nursery, Greenhouses and Florist
- Single Detached Housing
- Standard Cultivation, Cannabis
- Standard Processing, Cannabis
- Veterinary Clinic (may require ALC non-farm use approval)

Accessory Uses:

- Accessory Buildings or Structures
- Accessory Tourist Accommodation
- Home Based Business
- Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)
- Farmworker Dwelling Unit
- Portable Sawmills for processing of material harvested on site only
- Secondary Suite
- Temporary Farmworker Housing (may require ALC non adhering residential use approval)

V. That Section 26(2) Agriculture 3 (AG3) Development Regulations be amended as follows:

The minimum lot size for subdivision shall be 60 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.

W. That a new Section 26(2)(C) Agriculture 3 (AG3) Development Regulations be inserted as follows:

Only one Single Detached Housing is permitted per lot.

2 This Bylaw shall come into force and effect upon its adoption.

**CITATION**

3 This Bylaw may be cited as “**Electoral Area ‘C’ Comprehensive Land Use Amendment Bylaw No. 3051, 2026**”

READ A FIRST TIME this [Date] day of [Month], 20XX.

READ A SECOND TIME this [Date] day of [Month], 20XX.

READ A THIRD TIME this [Date] day of [Month], 20XX.

APPROVED under **Section 52 (3)(a) of the Transportation Act** this [Date] day of [Month], 20XX.

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Approval Authority,  
Ministry of Transportation and Transit

ADOPTED this [Date] day of [Month], 20XX.

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Aimee Watson, Board Chair

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Mike Morrison, Corporate Officer

## REGIONAL DISTRICT OF CENTRAL KOOTENAY

# Bylaw No. 3052

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A Bylaw to amend Electoral Area 'D' Comprehensive Land Use Bylaw No. 2435, 2016

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WHEREAS it is deemed expedient to amend the Electoral Area 'D' Comprehensive Land Use Bylaw No. 2435, 2016, and amendments thereto.

NOW THEREFORE the Board of the Regional District of Central Kootenay, in open meeting assembled, HEREBY ENACTS as follows:

### APPLICATION

1 That Electoral Area 'D' Comprehensive Land Use Bylaw No. 2435, 2016 Schedule 'B' Zoning Bylaw be amended as follows:

A. That the following definition be removed from Section 21 Interpretation:

MINIMUM LOT AREA means the minimum lot size required for the purposes of subdivision as set out in the applicable zone;

B. That Section 22(4) General Regulations, Site Areas be amended as follows:

The minimum lot size for a parcel subdivided under Section 514 of the Local Government Act shall be the minimum site area of the zone in which the parcel is located unless otherwise stated.

C. Section 22 General Regulations, Reduction of Minimum Lot Areas be amended as follows:

Reduction of Minimum Lot Size

D. That Section 22(9) General Regulations, Reduction of Minimum Lot Areas be amended as follows:

Where two or more contiguous lots registered prior to adoption of this bylaw have less than the minimum lot size required by this bylaw, the lots may be consolidated into fewer lots than exist at the time of application as long as no new lot created is smaller than any previously existing lot.

E. That Section 22(10) General Regulations, Reduction of Minimum Lot Areas be amended as follows:

Where it is not possible to create a lot that has the minimum lot size required for a zone, the minimum lot size requirement may be reduced where the proposed subdivision involves any one of the following and meets local health authority requirements:

- a. a boundary adjustment that does not create, or make it possible to create additional lots to those that exist at the time of application;
- b. a lot that, at the time of adoption of this bylaw, is divided by a highway or forest service road and where the boundaries of the highway or road will be the boundaries of the proposed lots; or
- c. a lot where two or more single detached, duplex or combination of single detached and duplex dwellings existed prior to adoption of this bylaw.

F. That Section 22(11) General Regulations, Reduction of Minimum Lot Areas be amended as follows:

The minimum lot size for a lot created under sub-section 10 shall be 0.2 hectares where serviced by a community water system and 0.4 hectares where not serviced by a community water system.

G. That Section 22(12) General Regulations, Reduction of Minimum Lot Areas be amended as follows:

Despite sub-section 11, where a dwelling has been constructed across a legal property line prior to the adoption of this bylaw, lot lines may be adjusted so as to allow property owners to legitimize the structure as long as no lot is reduced in lot size.

H. That Section 22(46)(c) General Regulations, Accessory Dwelling Units be amended as follows:

Despite section 46(b) secondary suites are permitted on all lots

I. That Section 23(1) Town-Site Residential (R1) Permitted Uses be amended as follows:

Permitted uses, buildings and structures:

Principal Uses

Duplex Housing

Single Detached Housing

Accessory Uses

Accessory Building or Structures

Bed and Breakfast Accommodation see Section 22(22)

Home-based Business see Section 22(21)

Horticulture

Keeping of Farm Animals see Section 22 (35)

Secondary Suite

Vacation Rentals see Section 22(23)

J. That Section 23(2) Town-Site Residential (R1) Development Regulations be amended as follows:

Minimum site area for each Principal Use:

Community Water System and Community Wastewater System – 0.1 hectares

Community Water System and On-site Wastewater Disposal - 0.2 hectares

Individual Water Source and Community Wastewater System -0.2 hectares

Individual Water Source and On-site Wastewater Disposal – 1.0 hectare

K. That Section 23(9) Town-Site Residential (R1) Development Regulations be amended as follows:

Minimum lot size for Subdivision:

Community Water System and Community Wastewater System - 0.1 hectares

Community Water System and On-site Wastewater Disposal - 0.2 hectares

Individual Water Source and Community Wastewater System - 0.2 hectares

Individual Water Source and On-site Wastewater Disposal - 1.0 hectares

L. That Section 24(1) Country Residential (R2) Permitted Uses be amended as follows:

Permitted uses, buildings and structures:

Principal Uses

Duplex Housing

Horticulture

Single Detached Housing

Accessory Uses

Accessory Building or Structures

Bed and Breakfast Accommodation see Section 22(22)

Home-based Business see Section 22(21)

Keeping of Farm Animals see Section 22(35)

Secondary Suite

Vacation Rentals see Section 22(23)

M. That Section 24(2) Country Residential (R2) Development Regulations be amended as follows:

Minimum site area for each Principal Use – 1.0 Hectare

N. That Section 24(9) Country Residential (R2) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 1.0 hectare

O. That Section 25(1) Rural Residential (R3) Permitted Uses be amended as follows:

Permitted uses, buildings and structures:

Principal Uses

Duplex Housing  
Horticulture  
Outdoor Recreational Activities  
Parks  
Resource Based Activities  
Single Detached Housing

Accessory Uses

Accessory Building or Structures  
Bed and Breakfast Accommodation see Section 22(22)  
Home-based Business see Section 22(21)  
Keeping of Farm Animals see Section 22(35)  
Secondary Suite  
Vacation Rentals see Section 22(23)

P. That Section 25(2) Rural Residential (R3) Development Regulations be amended as follows:

Minimum site area for each Principal Use – 2.0 hectares

Q. That Section 25(9) Rural Residential (R3) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 2.0 hectares

R. That Section 26(9) Town-Site Commercial (C1) Development Regulations be amended as follows:

Minimum lot size for Subdivision:

Community Water System and Community Wastewater System – 0.1 Hectares  
Community Water System and On-site Wastewater Disposal – 0.2 Hectares  
Individual Water Source and Community Wastewater System – 0.2 Hectares  
Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares

S. That Section 27(9) Tourist Commercial (C2) Development Regulations be amended as follows:

Minimum lot size for Subdivision:

Community Water System and Community Wastewater System – 0.1 Hectares  
Community Water System and On-site Wastewater Disposal – 0.2 Hectares  
Individual Water Source and Community Wastewater System – 0.2 Hectares  
Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares

T. That Section 28(9) Ainsworth Resort Commercial (C3) Development Regulations be amended as follows:

Minimum lot size for Subdivision:

Community Water System and Community Wastewater System – 0.1 Hectares  
Community Water System and On-site Wastewater Disposal – 0.2 Hectares

Individual Water Source and Community Wastewater System – 0.2 Hectares  
Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares

U. That Section 29(9) Community Service (CS) Development Regulations be amended as follows:

Minimum lot size for Subdivision:  
Community Water System and Community Wastewater System – 0.1 Hectares  
Community Water System and On-site Wastewater Disposal – 0.2 Hectares  
Individual Water Source and Community Wastewater System – 0.2 Hectares  
Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares

V. That Section 30(9) Parks and Recreation (PR) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 1.0 hectares

W. Section 31(9) Parks and Recreation Ainsworth Resort (PR1) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 1.0 hectares

X. That Section 32(7) Environmental Reserve (ER) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 1.0 hectares

Y. That Section 33(7) Resource Area (RA) Development Regulations be amended as follows:

Minimum lot size for Subdivision - 15.0 hectares

**2** This Bylaw shall come into force and effect upon its adoption.

#### **CITATION**

**3** This Bylaw may be cited as **“Electoral Area ‘D’ Comprehensive Land Use Amendment Bylaw No. 3052, 2026”**

READ A FIRST TIME this [Date] day of [Month], 20XX.

READ A SECOND TIME this [Date] day of [Month], 20XX.

READ A THIRD TIME this [Date] day of [Month], 20XX.

APPROVED under **Section 52 (3)(a) of the Transportation Act** this [Date] day of [Month], 20XX.

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Approval Authority,  
Ministry of Transportation and Transit

ADOPTED this [Date] day of [Month], 20XX.

\_\_\_\_\_  
Aimee Watson, Board Chair

\_\_\_\_\_  
Mike Morrison, Corporate Officer

## REGIONAL DISTRICT OF CENTRAL KOOTENAY

# Bylaw No. 3076

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A Bylaw to amend Regional District of Central Kootenay Zoning Bylaw No. 1675, 2004

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WHEREAS it is deemed expedient to amend the Regional District of Central Kootenay Zoning Bylaw No. 1675, 2004, and amendments thereto.

NOW THEREFORE the Board of the Regional District of Central Kootenay, in open meeting assembled, HEREBY ENACTS as follows:

### APPLICATION

1 That Regional District of Central Kootenay Zoning Bylaw No. 1675, 2004 be amended as follows:

A. That Section 1600 Rural Residential I (R3I) Permitted Uses be amended as follows:

Principal Uses:

- Duplex Housing
- Horticulture
- Single Detached Housing
- Veterinary Clinics

Accessory Uses:

- Accessory Buildings and Structures
- Accessory Dwelling Unit, subject to Section 623
- Accessory Tourist Accommodation
- Home Based Business
- Micro Cultivation, Cannabis
- Micro Processing, Cannabis
- Nursery, Cannabis
- Keeping of Farm Animals
- Sale of Site Grown Farm Products
- Portable Sawmills for processing of material harvested on site only

B. That Section 1601(2) Rural Residential I (R3I) Development Regulations be amended as follows:

One Single Detached Housing or Duplex Housing is permitted and one additional Single Detached Housing or Duplex Housing shall be permitted per every additional four (4) hectares of site area.

2 This Bylaw shall come into force and effect upon its adoption.

**CITATION**

**3** This Bylaw may be cited as “**Regional District of Central Kootenay Zoning Amendment Bylaw No. 3076, 2026**”

READ A FIRST TIME this [Date] day of [Month] , 20XX.

READ A SECOND TIME this [Date] day of [Month] ,20XX.

READ A THIRD TIME this [Date] day of [Month] , 20XX.

APPROVED under **Section 52 (3)(a) of the Transportation Act** this [Date]day of [Month] , 20XX.

\_\_\_\_\_  
Approval Authority,  
Ministry of Transportation and Transit

ADOPTED this [Date] day of [Month] , 20XX.

\_\_\_\_\_  
Aimee Watson, Board Chair

\_\_\_\_\_  
Mike Morrison, Corporate Officer

**Amendments to Electoral Area 'A' Comprehensive Land Use Bylaw No. 2315, 2013 Schedule 'B' Zoning Bylaw**

<b>Section Number</b>	<b>Existing Item / Wording</b>	<b>Change</b>	<b>Rationale</b>
Section 18(108)(c) Accessory Dwelling Units	Notwithstanding section 108(b) secondary suites are permitted on all lots.	<b>AMEND</b> Despite section 108(b) secondary suites are permitted on all lots.	Simpler language.
Section 18(108)(k) Accessory Dwelling Units		<b>NEW</b> An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1 or R2 zoned lot.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024.
Section 19(1) Suburban Residential (R1) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Day Care Facility - Home Based Business - Horticulture - Keeping of Farm Animals - Sale of Site Grown Horticultural Produce	<b>AMEND</b> Principal Uses: Duplex Housing Single Detached Housing Accessory Uses: Accessory Buildings or Structures Accessory Dwelling Unit, <b>subject to Section 18(108)</b> Accessory Tourist Accommodation Day Care Facility Home Based Business Horticulture Keeping of Farm Animals Sale of Site Grown Horticultural Produce	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.
Section 19(2) Suburban Residential (R1) Development Regulations	The minimum lot size for the following uses shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare	<b>AMEND</b> The minimum lot size for subdivision shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare	Clarifies regulation.

	Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	
Section 19(2)(B) Suburban Residential (R1) Development Regulations	The maximum density is 2 Dwelling Units	<b>AMEND</b> The minimum site area for each Principal Use shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Density modified to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024.
Section 19(3) Suburban Residential (R1) Development Regulations	The maximum Site Coverage is 50 percent of the site area.	<b>AMEND</b> The maximum Site Coverage is 50 percent of the lot area.	Consistent use of terms.
Section 19(4) Suburban Residential (R1) Development Regulations	Buildings and structures shall not cover more than 33 percent of the site area.	<b>AMEND</b> Buildings and structures shall not cover more than 33 percent of the lot area.	Consistent use of terms.
Section 20(1) Country Residential (R2) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Day Care Facility - Home Based Business	<b>AMEND</b> Principal Uses: Duplex Housing Single Detached Housing Accessory Uses: Accessory Buildings or Structures Accessory Dwelling Unit, subject to Section 18(108) Accessory Tourist Accommodation	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.

	<ul style="list-style-type: none"> <li>- Horticulture</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Horticultural Produce</li> <li>- Temporary Guest Accommodation</li> <li>- Portable Sawmills (for processing of materials harvested on-site only)</li> </ul>	<ul style="list-style-type: none"> <li>Day Care Facility</li> <li>Home Based Business</li> <li>Horticulture</li> <li>Keeping of Farm Animals</li> <li>Sale of Site Grown Horticultural Produce</li> <li>Temporary Guest Accommodation</li> <li>Portable Sawmills (for processing of materials harvested on-site only)</li> </ul>	
Section 20(2)(B) Country Residential (R2) Development Regulations	The maximum density is 2 Dwelling Units	<b>AMEND</b> The minimum site area for each Principal Use shall be 1.0 hectare.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024.
Section 21(1) Rural Residential (R3) Permitted Uses	<p>Dwellings:</p> <ul style="list-style-type: none"> <li>- Single Detached Housing</li> <li>- Duplex Housing</li> </ul> <p>Horticulture</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Veterinary Clinics</p> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Horticultural Produce</li> <li>- Small Scale Wood Product Manufacturing</li> <li>- Temporary Guest Accommodation</li> </ul>	<p><b>AMEND</b></p> <p>Principal Uses:</p> <ul style="list-style-type: none"> <li>Duplex Housing</li> <li>Horticulture</li> <li>Micro Cultivation, Cannabis</li> <li>Micro Processing, Cannabis</li> <li>Nursery, Cannabis</li> <li>Single Detached Housing</li> <li>Veterinary Clinics</li> </ul> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>Accessory Buildings or Structures</li> <li>Accessory Tourist Accommodation</li> <li>Home Based Business</li> <li>Keeping of Farm Animals</li> <li>Sale of Site Grown Horticultural Produce</li> <li>Small Scale Wood Product Manufacturing</li> <li>Secondary Suite</li> </ul>	Clarifies which uses are principal rather than accessory and puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024. Secondary suite added as a permitted accessory use for clarity.

	- Temporary Farmworker Housing	Temporary Guest Accommodation Temporary Farmworker Housing	
Section 21(2)(B) Rural Residential (R3) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be 2.0 hectares.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024.
Section 22(1) Rural Resource (R4) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Horse Riding Stables and Boarding Stables Horticulture Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nurseries, Greenhouses and Florists Veterinary Clinics Kennels Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Home Based Business - Keeping of Farm Animals - Sale of Site Grown Agricultural Produce - Portable Sawmills - Temporary Guest Accommodation -Temporary Farmworker Housing	<b>AMEND</b> Principal Uses: Duplex Housing Horse Riding Stables and Boarding Stables Horticulture Kennels Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nurseries, Greenhouses and Florists Single Detached Housing Veterinary Clinics Accessory Uses: Accessory Buildings or Structures Accessory Tourist Accommodation Home Based Business Keeping of Farm Animals Portable Sawmills Sale of Site Grown Agricultural Produce Secondary Suite Temporary Guest Accommodation Temporary Farmworker Housing	Clarifies which uses are principal rather than accessory and puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2953 which was adopted by the Board in June 2024. Secondary suite added as a permitted accessory use for clarity.
Section 22(2)(B) Rural Resource	The maximum density is 2 Dwelling Units.	<b>AMEND</b>	Density modified to align with the density permitted prior to Amendment

(R4) Development Regulations		The minimum site area for each Principal Use is 2.0 hectares.	Bylaw no. 2953 which was adopted by the Board in June 2024.
Section 25(1) Agriculture 1 (AG1) Permitted Uses	Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time. Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: - Accessory Buildings or Structures - Accessory Tourist Accommodation - Home Based Business - Farmworker Dwelling Unit - Portable Sawmills for processing of material harvested on site only - Secondary Suite	<b>AMEND</b> <b>Principal Uses:</b> Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time. Kennel <b>Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist</b> Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: Accessory Buildings or Structures Accessory Tourist Accommodation Home Based Business Farmworker Dwelling Unit Portable Sawmills for processing of material harvested on site only Secondary Suite Temporary Farmworker Housing (may require ALC non adhering residential use approval)	Clarifies which uses are principal rather than accessory and improves formatting.

	- Temporary Farmworker Housing (may require ALC non adhering residential use approval)		
Section 25(2) Agriculture 1 (AG1) Development Regulations	The minimum lot area shall be 2.0 hectares.	<b>AMEND</b> The minimum <b>lot size for subdivision</b> shall be 2.0 hectares.	Consistent use of terms.
Section 25(2)(c) Agriculture 1 (AG1) Development Regulations		<b>NEW</b> <b>Only one Single Detached Housing is permitted per lot.</b>	Clarifies principal dwelling density.
Section 26(1) Agriculture 2 (AG2) Permitted Use	Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses:	<b>AMEND</b> <b>Principal Uses:</b> Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel <b>Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist</b> Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses:	Clarifies which uses are principal rather than accessory and improves formatting.

	<ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)</li> <li>- Farmworker Dwelling Unit</li> <li>- Portable Sawmills for processing of material harvested on site only</li> <li>- Secondary Suite</li> <li>- Temporary Farmworker Housing (may require ALC non adhering residential use approval)</li> </ul>	<p>Accessory Buildings or Structures  Accessory Tourist Accommodation  Home Based Business  Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  Farmworker Dwelling Unit  Portable Sawmills for processing of material harvested on site only  Secondary Suite  Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	
Section 26(2) Agriculture 2 (AG2) Development Regulations	The minimum lot area shall be 4.0 hectares.	<b>AMEND</b> The minimum <b>lot size for subdivision</b> shall be 4.0 hectares.	Consistent use of terms.
Section 26(2)(C) Agriculture 2 (AG2) Development Regulations		<b>NEW</b> <b>Only one Single Detached Housing is permitted per lot.</b>	Clarifies principal dwelling density.

**Amendments to Electoral Area 'B' Comprehensive Land Use Bylaw No. 2316, 2013 Schedule 'B' Zoning Bylaw**

<b>Section Number</b>	<b>Existing Item / Wording</b>	<b>Change</b>	<b>Rationale</b>
Section 16(108)(C) General Regulations Accessory Dwelling Units	Notwithstanding section 108(b) secondary suites are permitted an all lots.	<b>AMEND</b> Despite section 108(b) secondary suites are permitted an all lots.	Simpler language.
Section 16(108)(K) General Regulations Accessory Dwelling Units		<b>NEW</b> An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1, R2 or R3 zoned lot.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024.
Section 17(1) Suburban Residential (R1) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Day Care Facility - Home Based Business - Horticulture - Keeping of Farm Animals - Sale of Site Grown Horticultural Produce	<b>AMEND</b> <b>Principal Uses:</b> Duplex Housing Single Detached Housing <b>Accessory Uses:</b> Accessory Buildings or Structures Accessory Dwelling Unit, subject to Section 16(108) Accessory Tourist Accommodation Day Care Facility Home Based Business Horticulture Keeping of Farm Animals Sale of Site Grown Horticultural Produce	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.
Section 17(2) Suburban Residential (R1) Development Regulations	The minimum site area for the following uses shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer:	<b>AMEND</b> The minimum lot size for subdivision shall be required as follows: LEVEL OF SERVICES PROVIDED	Clarifies regulation.

	0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	
Section 17(2)(B) Suburban Residential (R1) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Density modified to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024.
Section 18(1) Country Residential (R2) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Day Care Facility - Home Based Business - Horticulture - Keeping of Farm Animals - Sale of Site Grown Horticultural Produce	<b>AMEND</b> Principal Uses: Duplex Housing Single Detached Housing Accessory Uses: Accessory Buildings or Structures Accessory Dwelling Unit, subject to Section 16(108) Accessory Tourist Accommodation Day Care Facility Home Based Business Horticulture Keeping of Farm Animals Sale of Site Grown Horticultural Produce	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.

	- Portable Sawmills (for processing of materials harvested on-site only)	Portable Sawmills (for processing of materials harvested on-site only)	
Section 18(2) Country Residential (R2) Development Regulations	The minimum lot size is 1.0 hectare.	<b>AMEND</b> The minimum lot size for subdivision shall be 1.0 hectare.	Clarifies regulation.
Section 18(2)(B) Country Residential (R2) Development Regulations	The maximum density is 2 Dwelling Units.	<b>NEW</b> The minimum site area for each Principal Use is 1.0 hectare.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024.
Section 19(1) Rural Residential (R3) Permitted Uses	<p>Dwellings:</p> <ul style="list-style-type: none"> <li>- Single Detached Housing</li> <li>- Duplex Housing</li> </ul> <p>Horticulture</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Veterinary Clinics</p> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Horticultural Produce</li> <li>- Small Scale Wood Product Manufacturing</li> <li>- Temporary Guest Accommodation</li> </ul>	<p><b>AMEND</b></p> <p><b>Principal Uses:</b></p> <ul style="list-style-type: none"> <li>Duplex Housing</li> <li>Horticulture</li> <li>Micro Cultivation, Cannabis</li> <li>Micro Processing, Cannabis</li> <li>Nursery, Cannabis</li> <li>Single Detached Housing</li> <li>Veterinary Clinics</li> </ul> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>Accessory Buildings or Structures</li> <li>Accessory Dwelling Unit, subject to Section 16(108)</li> <li>Accessory Tourist Accommodation</li> <li>Home Based Business</li> <li>Keeping of Farm Animals</li> <li>Sale of Site Grown Horticultural Produce</li> <li>Small Scale Wood Product Manufacturing</li> </ul>	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.

	- Temporary Farmworker Housing	Temporary Farmworker Housing	
Section 19(2) Rural Residential (R3) Development Regulations	The minimum lot size is 2.0 hectares.	<b>AMEND</b> The minimum lot size for subdivision is 2.0 hectares.	Clarifies regulation.
Section 19(2)(B) Rural Residential (R3) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use is 2.0 hectares.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024.
Section 20(1) Rural Resource (R4) Permitted Uses	<p>Dwellings:</p> <ul style="list-style-type: none"> <li>- Single Detached Housing</li> <li>- Duplex Housing</li> <li>Horse Riding Stables and Boarding Stables</li> <li>Horticulture</li> <li>Micro Cultivation, Cannabis</li> <li>Micro Processing, Cannabis</li> <li>Nursery, Cannabis</li> <li>Nurseries, Greenhouses and Florists</li> <li>Veterinary Clinics</li> <li>Kennels</li> </ul> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Agricultural Produce</li> <li>- Portable Sawmills</li> </ul>	<p><b>AMEND</b></p> <p><b>Principal Uses:</b></p> <ul style="list-style-type: none"> <li>Duplex Housing</li> <li>Horse Riding Stables and Boarding Stables</li> <li>Horticulture</li> <li><b>Kennels</b></li> <li>Micro Cultivation, Cannabis</li> <li>Micro Processing, Cannabis</li> <li>Nursery, Cannabis</li> <li>Nurseries, Greenhouses and Florists</li> <li><b>Single Detached Housing</b></li> <li>Veterinary Clinics</li> </ul> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>Accessory Buildings or Structures</li> <li>Accessory Tourist Accommodation</li> <li>Home Based Business</li> <li>Keeping of Farm Animals</li> <li>Portable Sawmills</li> <li>Sale of Site Grown Agricultural Produce</li> </ul>	Clarifies which uses are principal rather than accessory and puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024. Secondary suite added as a permitted accessory use for clarity.

	-Temporary Farmworker Housing	<b>Secondary Suite</b> Temporary Farmworker Housing	
Section 20(2) Rural Resource (R4) Development Regulations	The minimum lot size is 2.0 hectares.	<b>AMEND</b> The minimum lot size for subdivision is 2.0 hectares.	Clarifies regulation.
Section 20(2)(B) Rural Resource (R4) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use is 2.0 hectares.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2954 which was adopted by the Board in June 2024.
Section 23(1) Agriculture 1 (AG1) Permitted Uses	Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time. Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: - Accessory Buildings or Structures	<b>AMEND</b> <b>Principal Uses:</b> Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time. Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis	Clarifies which uses are principal rather than accessory.

	<ul style="list-style-type: none"> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)</li> <li>- Farmworker Dwelling Unit</li> <li>- Portable Sawmills for processing of material harvested on site only</li> <li>- Secondary Suite</li> <li>- Temporary Farmworker Housing (may require ALC non adhering residential use approval)</li> </ul>	<p>Veterinary Clinic (may require ALC non-farm use approval)</p> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>Accessory Buildings or Structures</li> <li>Accessory Tourist Accommodation</li> <li>Home Based Business</li> <li>Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)</li> <li>Farmworker Dwelling Unit</li> <li>Portable Sawmills for processing of material harvested on site only</li> <li>Secondary Suite</li> <li>Temporary Farmworker Housing (may require ALC non adhering residential use approval)</li> </ul>	
Section 23(2) Agriculture 1 (AG1) Development Regulations	The minimum lot area shall be 4 hectares.	<b>AMEND</b> The minimum lot size for subdivision is 4.0 hectares.	Clarifies regulation.
Section 23(2)(c) Agriculture 1 (AG1) Development Regulations		<b>NEW</b> Only one Single Detached Housing is permitted per lot.	Clarifies principal dwelling density.
Section 24(1) Agriculture 2 (AG2) Permitted Use	Agriculture All activities designated as "Farm Use" as defined in the	<b>AMEND</b> Principal Uses: Agriculture	Clarifies which uses are principal rather than accessory.

	<p>Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Nursery, Greenhouses and Florist</p> <p>Single Detached Housing</p> <p>Standard Cultivation, Cannabis</p> <p>Standard Processing, Cannabis</p> <p>Veterinary Clinic (may require ALC non-farm use approval)</p> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Tourist Accommodation</li> <li>- Home Based Business</li> <li>- Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)</li> <li>- Farmworker Dwelling Unit</li> <li>- Portable Sawmills for processing of material harvested on site only</li> </ul>	<p>All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Nursery, Greenhouses and Florist</p> <p>Single Detached Housing</p> <p>Standard Cultivation, Cannabis</p> <p>Standard Processing, Cannabis</p> <p>Veterinary Clinic (may require ALC non-farm use approval)</p> <p>Accessory Uses:</p> <p>Accessory Buildings or Structures</p> <p>Accessory Tourist Accommodation</p> <p>Home Based Business</p> <p>Farm Product Processing of farm product from another parcel in the Regional</p>	
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	<ul style="list-style-type: none"> <li>- Secondary Suite</li> <li>- Temporary Farmworker Housing (may require ALC non adhering residential use approval)</li> </ul>	<p>District of Central Kootenay (may require ALC non-farm use approval)</p> <p>Farmworker Dwelling Unit</p> <p>Portable Sawmills for processing of material harvested on site only</p> <p>Secondary Suite</p> <p>Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	
Section 24(2) Agriculture 2 (AG2) Development Regulations	The minimum lot area shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.	<b>AMEND</b> The minimum lot size for subdivision shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.	Clarifies regulation.
Section 24(2)(C) Agriculture 2 (AG2) Development Regulations		<b>NEW</b> Only one Single Detached Housing is permitted per lot.	Clarifies principal dwelling density.
Section 25(1) Agriculture 3 (AG3) Permitted Use	<p>Agriculture</p> <p>All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p>	<p><b>AMEND</b></p> <p><b>Principal Uses:</b></p> <p>Agriculture</p> <p>All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p>	Clarifies which uses are principal rather than accessory.

	<p>Nursery, Cannabis Nursery, Greenhouses and Florist  Single Detached Housing  Standard Cultivation, Cannabis  Standard Processing, Cannabis  Veterinary Clinic (may require ALC non-farm use approval)  Accessory Uses:  - Accessory Buildings or Structures  - Accessory Tourist Accommodation  - Home Based Business  - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  - Farmworker Dwelling Unit  - Portable Sawmills for processing of material harvested on site only  - Secondary Suite  - Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	<p>Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist  Single Detached Housing  Standard Cultivation, Cannabis  Standard Processing, Cannabis  Veterinary Clinic (may require ALC non-farm use approval)  Accessory Uses:  Accessory Buildings or Structures  Accessory Tourist Accommodation  Home Based Business  Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  Farmworker Dwelling Unit  Portable Sawmills for processing of material harvested on site only  Secondary Suite  Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	
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Section 25(2) Agriculture 3 (AG3) Development Regulations	The minimum lot area shall be 30 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.	<b>AMEND</b> The minimum lot size for subdivision shall be 30 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.	Clarifies regulation.
Section 25(2)(C) Agriculture 2 (AG2) Development Regulations		<b>NEW</b> Only one Single Detached Housing is permitted per lot.	Clarifies principal dwelling density.

**Amendments to Electoral Area 'C' Comprehensive Land Use Bylaw No. 2317, 2013 Schedule 'B' Zoning Bylaw**

<b>Section Number</b>	<b>Existing Item / Wording</b>	<b>Change</b>	<b>Rationale</b>
17(107)(c) General Regulations, Accessory Dwelling Units	Notwithstanding section 107(b) secondary suites are permitted on all lots.	<b>AMEND</b> Despite section 107(b) secondary suites are permitted on all lots.	Simpler language.
17(107)(d) General Regulations, Accessory Dwelling Units	The maximum gross floor area is 100.0 square metres outside of the Agricultural Land Reserve.	<b>AMEND</b> The maximum gross floor area is 90.0 square metres.	Modified to align with the provisions permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
17(107)(k) General Regulations, Accessory Dwelling Units		<b>NEW</b> An accessory dwelling unit is only permitted as an accessory use to Single Detached Housing on any R1, R2 or R3 zoned lot.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
18(1) Suburban Residential (R1) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing Accessory Uses: - Accessory Buildings or Structures - Accessory Dwelling Unit - Accessory Tourist Accommodation - Day Care Facility - Home Based Business - Horticulture - Keeping of Farm Animals - Sale of Site Grown Horticultural Produce	<b>AMEND</b> Principal Uses: Duplex Housing Single Detached Housing Accessory Uses: Accessory Buildings or Structures Accessory Dwelling Unit, <b>subject to section 17(107)</b> Accessory Tourist Accommodation Day Care Facility Home Based Business Horticulture Keeping of Farm Animals Sale of Site Grown Horticultural Produce	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.
Section 18(2) Suburban Residential (R1)	The minimum lot size for the following uses shall be required as follows:	<b>AMEND</b> The minimum lot size for subdivision shall be required as follows: LEVEL OF SERVICES PROVIDED	Clarifies regulation.

Development Regulations	LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	
Section 18(2)(B) Suburban Residential (R1) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be required as follows: LEVEL OF SERVICES PROVIDED Community Water and Sewer: 0.1 hectare Community Water or Sewer: 0.4 hectare On Site Only: 1.0 hectare	Density modified to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
Section 18(3) Suburban Residential (R1) Development Regulations	The maximum Site Coverage is 50 percent of the site area.	<b>AMEND</b> The maximum Site Coverage is 50 percent of the lot area.	Consistent use of terms.
Section 18(4) Suburban Residential (R1) Development Regulations	Buildings and structures shall not cover more than 33 percent of the site area.	<b>AMEND</b> Buildings and structures shall not cover more than 33 percent of the lot area.	Consistent use of terms.
Section 19(1) Country Residential (R2) Permitted Uses	Dwellings: - Single Detached Housing - Duplex Housing  Accessory Uses:	<b>AMEND</b> Principal Uses: Duplex Housing Single Detached Housing  Accessory Uses:	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.

	<ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Day Care Facility</li> <li>- Home Based Business</li> <li>- Horticulture</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Horticultural Produce</li> <li>- Portable Sawmills (for processing of materials harvested on-site only)</li> </ul>	<p>Accessory Buildings or Structures  Accessory Dwelling Unit, <b>subject to section 17(107)</b>  Accessory Tourist Accommodation  Day Care Facility  Home Based Business  Horticulture  Keeping of Farm Animals  Sale of Site Grown Horticultural Produce  Portable Sawmills (for processing of materials harvested on-site only)</p>	
Section 19(2)(B) Country Residential (R2) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be 1.0 ha.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
Section 20(1) Rural Residential (R3) Permitted Uses	Dwellings: <ul style="list-style-type: none"> <li>- Single Detached Housing</li> <li>- Duplex Housing</li> </ul> Horse Riding Stables and Boarding Stables Horticulture Kennels Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nurseries, Greenhouses and Florists Veterinary Clinics  Accessory Uses:	<b>AMEND</b> Principal Uses: <ul style="list-style-type: none"> <li>Duplex Housing</li> <li>Horse Riding Stables and Boarding Stables</li> <li>Horticulture</li> <li>Kennels</li> <li>Micro Cultivation, Cannabis</li> <li>Micro Processing, Cannabis</li> <li>Nursery, Cannabis</li> <li>Nurseries, Greenhouses and Florists</li> <li>Single Detached Housing</li> <li>Veterinary Clinics</li> </ul> Accessory Uses: Accessory Buildings or Structures	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.

	<ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Day Care Facility</li> <li>- Home Based Business</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Horticultural Produce</li> <li>- Portable Sawmills</li> <li>- Small Scale Wood Product Manufacturing</li> <li>-Temporary Farmworker Housing</li> </ul>	<p>Accessory Dwelling Unit, <b>subject to section 17(107)</b></p> <p>Accessory Tourist Accommodation</p> <p>Day Care Facility</p> <p>Home Based Business</p> <p>Keeping of Farm Animals</p> <p>Sale of Site Grown Horticultural Produce</p> <p>Portable Sawmills</p> <p>Small Scale Wood Product Manufacturing</p> <p>Temporary Farmworker Housing</p>	
Section 20(2)(B) Rural Residential (R3) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be 2.0 ha.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
Section 21(1) Rural Resource (R4) Permitted Uses	<p>Dwellings:</p> <ul style="list-style-type: none"> <li>- Single Detached Housing</li> <li>- Duplex Housing</li> </ul> <p>Horse Riding Stables and Boarding Stables</p> <p>Horticulture</p> <p>Kennels</p> <p>Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nurseries, Greenhouses and Florists</p> <p>Veterinary Clinics</p> <p>Accessory Uses:</p>	<p><b>AMEND</b></p> <p><b>Principal Uses:</b></p> <ul style="list-style-type: none"> <li><b>Duplex Housing</b></li> <li>Horse Riding Stables and Boarding Stables</li> <li>Horticulture</li> <li>Kennels</li> <li>Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nurseries, Greenhouses and Florists</li> <li><b>Single Detached Housing</b></li> <li>Veterinary Clinics</li> </ul> <p>Accessory Uses:</p> <ul style="list-style-type: none"> <li>Accessory Buildings or Structures</li> </ul>	Clarifies which uses are principal rather than accessory and puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024. Secondary suite added as a permitted accessory use for clarity.

	<ul style="list-style-type: none"> <li>- Accessory Buildings or Structures</li> <li>- Accessory Dwelling Unit</li> <li>- Accessory Tourist Accommodation</li> <li>- Child Care Facility</li> <li>- Home Based Business</li> <li>- Keeping of Farm Animals</li> <li>- Sale of Site Grown Agricultural Produce</li> <li>- Portable Sawmills</li> <li>- Temporary Farmworker Housing</li> </ul>	<ul style="list-style-type: none"> <li>Accessory Tourist Accommodation</li> <li>Day Care Facility</li> <li>Home Based Business</li> <li>Keeping of Farm Animals</li> <li>Portable Sawmills</li> <li>Sale of Site Grown Agricultural Produce</li> <li>Secondary Suite</li> <li>Temporary Farmworker Housing</li> </ul>	
Section 21(2)(B) Rural Resource (R4) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> The minimum site area for each Principal Use shall be 2.0 ha.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2955 which was adopted by the Board in July 2024.
Section 24(1) Agriculture 1 (AG1) Permitted Uses	<p>Agriculture</p> <p>All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Nursery, Greenhouses and Florist</p> <p>Single Detached Housing</p> <p>Standard Cultivation, Cannabis</p>	<p><b>AMEND</b></p> <p><b>Principal Uses:</b></p> <p>Agriculture</p> <p>All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time</p> <p>Kennel</p> <p>Micro Cultivation, Cannabis</p> <p>Micro Processing, Cannabis</p> <p>Nursery, Cannabis</p> <p>Nursery, Greenhouses and Florist</p> <p>Single Detached Housing</p> <p>Standard Cultivation, Cannabis</p> <p>Standard Processing, Cannabis</p>	Clarifies which uses are principal rather than accessory.

	<p>Standard Processing, Cannabis  Veterinary Clinic (may require ALC non-farm use approval)  Accessory Uses:  - Accessory Buildings or Structures  - Accessory Tourist Accommodation  - Home Based Business  - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  - Farmworker Dwelling Unit  - Portable Sawmills for processing of material harvested on site only  - Secondary Suite  - Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	<p>Veterinary Clinic (may require ALC non-farm use approval)  Accessory Uses:  - Accessory Buildings or Structures  - Accessory Tourist Accommodation  - Home Based Business  - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval)  - Farmworker Dwelling Unit  - Portable Sawmills for processing of material harvested on site only  - Secondary Suite  - Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	
Section 24(2) Agriculture 1 (AG1) Development Regulations	The minimum lot area shall be 4 hectares	<b>AMEND</b> The minimum lot <b>size for subdivision</b> shall be 4 hectares	Consistent use of terms.
Section 24(2)(C) Agriculture 1 (AG1) Development Regulations		<b>NEW</b> <b>Only one Single Detached Housing is permitted per lot.</b>	Clarifies principal dwelling density.

<p>Section 25(1) Agriculture 2 (AG2) Permitted Uses</p>	<p>Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: - Accessory Buildings or Structures - Accessory Tourist Accommodation - Home Based Business - Farm Product Processing of farm product from another parcel in the</p>	<p><b>AMEND</b> <b>Principal Uses:</b> Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) <b>Accessory Uses:</b> - Accessory Buildings or Structures - Accessory Tourist Accommodation - Home Based Business - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval) - Farmworker Dwelling Unit - Portable Sawmills for processing of material harvested on site only - Secondary Suite - Temporary Farmworker Housing (may require ALC non adhering residential use</p>	<p>Clarifies which uses are principal rather than accessory.</p>
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	Regional District of Central Kootenay (may require ALC non-farm use approval) - Farmworker Dwelling Unit - Portable Sawmills for processing of material harvested on site only - Secondary Suite - Temporary Farmworker Housing (may require ALC non adhering residential use approval)	approval)	
Section 25(2) Agriculture 2 (AG2) Development Regulations	The minimum lot area shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.	<b>AMEND</b> The minimum lot <b>size for subdivision</b> shall be 8 hectares in the Agricultural Land Reserve and 4 hectares outside the Agricultural Land Reserve.	Consistent use of terms.
Section 25(2)(C) Agriculture 2 (AG2) Development Regulations		<b>NEW</b> <b>Only one Single Detached Housing is permitted per lot.</b>	Clarifies principal dwelling density.
Section 26(1) Agriculture 3 (AG3) Permitted Uses	Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis	<b>AMEND</b> <b>Principal Uses:</b> Agriculture All activities designated as “Farm Use” as defined in the Agricultural Land Commission Act and Part 2 of the Agricultural Land Reserve Use Regulation as amended or replaced from time to time Kennel Micro Cultivation, Cannabis Micro Processing, Cannabis	Clarifies which uses are principal rather than accessory.

	<p>Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: - Accessory Buildings or Structures - Accessory Tourist Accommodation - Home Based Business - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval) - Farmworker Dwelling Unit - Portable Sawmills for processing of material harvested on site only - Secondary Suite - Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	<p>Nursery, Cannabis Nursery, Greenhouses and Florist Single Detached Housing Standard Cultivation, Cannabis Standard Processing, Cannabis Veterinary Clinic (may require ALC non-farm use approval) Accessory Uses: - Accessory Buildings or Structures - Accessory Tourist Accommodation - Home Based Business - Farm Product Processing of farm product from another parcel in the Regional District of Central Kootenay (may require ALC non-farm use approval) - Farmworker Dwelling Unit - Portable Sawmills for processing of material harvested on site only - Secondary Suite - Temporary Farmworker Housing (may require ALC non adhering residential use approval)</p>	
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Section 26(2) Agriculture 3 (AG3) Development Regulations	The minimum lot area shall be 60 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.	<b>AMEND</b> The minimum lot <b>size for subdivision</b> shall be 60 hectares in the Agricultural Land Reserve and 8 hectares outside the Agricultural Land Reserve.	Consistent use of terms.
Section 26(2)(C) Agriculture 3 (AG3) Development Regulations		<b>NEW</b> <b>Only one Single Detached Housing is permitted per lot.</b>	Clarifies principal dwelling density.

Amendments to Electoral Area 'D' Comprehensive Land Use Bylaw No. 2435, 2016 Schedule 'B' Ainsworth Townsite Zoning Bylaw

Section Number	Existing Item / Wording	Change	Rationale
Section 21 Interpretation	MINIMUM LOT AREA means the minimum lot size required for the purposes of subdivision as set out in the applicable zone;	<b>DELETE</b>	Consistent use of terms.
Section 22(4) General Regulations, Site Areas	The minimum lot area for a parcel subdivided under Section 514 of the Local Government Act shall be the minimum site area of the zone in which the parcel is located unless otherwise stated.	<b>AMEND</b> The minimum lot <b>size</b> for a parcel subdivided under Section 514 of the Local Government Act shall be the minimum site area of the zone in which the parcel is located unless otherwise stated.	Consistent use of terms.
Section 22 General Regulations, Reduction of Minimum Lot Areas	Reduction of Minimum Lot Areas	<b>AMEND</b> Reduction of Minimum Lot <b>Size</b>	Consistent use of terms.
Section 22(9) General	Where two or more contiguous lots registered prior to adoption of this	<b>AMEND</b>	Consistent use of terms.

Regulations, Reduction of Minimum Lot Areas	bylaw have less than the minimum lot area required by this bylaw, the lots may be consolidated into fewer lots than exist at the time of application as long as no new lot created is smaller than any previously existing lot.	Where two or more contiguous lots registered prior to adoption of this bylaw have less than the minimum lot <b>size</b> required by this bylaw, the lots may be consolidated into fewer lots than exist at the time of application as long as no new lot created is smaller than any previously existing lot.	
Section 22(10) General Regulations, Reduction of Minimum Lot Areas	Where it is not possible to create a lot that has the minimum lot area required for a zone, the minimum lot area requirement may be reduced where the proposed subdivision involves any one of the following and meets local health authority requirements: a. a boundary adjustment that does not create, or make it possible to create additional lots to those that exist at the time of application; b. a lot that, at the time of adoption of this bylaw, is divided by a highway or forest service road and where the boundaries of the highway or road will be the boundaries of the proposed lots; or c. a lot where two or more single detached, duplex or combination of single detached and duplex dwellings existed prior to adoption of this bylaw.	<b>AMEND</b> Where it is not possible to create a lot that has the minimum lot <b>size</b> required for a zone, the minimum lot <b>size</b> requirement may be reduced where the proposed subdivision involves any one of the following and meets local health authority requirements: a. a boundary adjustment that does not create, or make it possible to create additional lots to those that exist at the time of application; b. a lot that, at the time of adoption of this bylaw, is divided by a highway or forest service road and where the boundaries of the highway or road will be the boundaries of the proposed lots; or c. a lot where two or more single detached, duplex or combination of single detached and duplex dwellings existed prior to adoption of this bylaw.	Consistent use of terms.
Section 22(11) General Regulations,	The minimum lot area for a lot created under sub-section 10 shall be 0.2 hectares where serviced by a	<b>AMEND</b> The minimum lot <b>size</b> for a lot created under sub-section 10 shall be 0.2	Consistent use of terms.

Reduction of Minimum Lot Areas	community water system and 0.4 hectares where not serviced by a community water system.	hectares where serviced by a community water system and 0.4 hectares where not serviced by a community water system.	
Section 22(12) General Regulations, Reduction of Minimum Lot Areas	Despite sub-section 11, where a dwelling has been constructed across a legal property line prior to the adoption of this bylaw, lot lines may be adjusted so as to allow property owners to legitimize the structure as long as no lot is reduced in lot area.	<b>AMEND</b> Despite sub-section 11, where a dwelling has been constructed across a legal property line prior to the adoption of this bylaw, lot lines may be adjusted so as to allow property owners to legitimize the structure as long as no lot is reduced in lot <b>size</b> .	Consistent use of terms.
Section 22(46)(c) General Regulations, Accessory Dwelling Units	Notwithstanding section 46(b) secondary suites are permitted an all lots	<b>AMEND</b> <b>Despite</b> section 46(b) secondary suites are permitted an all lots	Simpler language.
Section 23(1) Town-Site Residential (R1) Permitted Uses	Permitted uses, buildings and structures: Principal Uses Single Detached Housing Duplex Housing Accessory Uses Accessory Building or Structures Accessory Dwelling Unit see Section 22(46) Bed and Breakfast Accommodation see Section 22(22) Home-based Business see Section 22(21) Horticulture Keeping of Farm Animals see Section 22 (35)	<b>AMEND</b> Permitted uses, buildings and structures: Principal Uses Duplex Housing <b>Single Detached Housing</b> Accessory Uses Accessory Building or Structures Bed and Breakfast Accommodation see Section 22(22) Home-based Business see Section 22(21) Horticulture Keeping of Farm Animals see Section 22 (35) <b>Secondary Suite</b>	Puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024. Secondary suite added as a permitted accessory use for clarity.

	Vacation Rentals see Section 22(23)	Vacation Rentals see Section 22(23)	
Section 23(2) Town-Site Residential (R1) Development Regulations	Maximum Density – 2 Dwelling units	<p><b>AMEND</b> Minimum site area for each Principal Use:</p> <p>Community Water System and Community Wastewater System – 0.1 hectares</p> <p>Community Water System and On-site Wastewater Disposal - 0.2 hectares</p> <p>Individual Water Source and Community Wastewater System -0.2 hectares</p> <p>Individual Water Source and On-site Wastewater Disposal – 1.0 hectare</p>	Density modified to align with the density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024.
Section 23(9) Town-Site Residential (R1) Development Regulations	<p>Minimum lot area for Subdivision: Community Water System and Community Wastewater System - 0.1 hectares Community Water System and On-site Wastewater Disposal - 0.2 hectares Individual Water Source and Community Wastewater System - 0.2 hectares Individual Water Source and On-site Wastewater Disposal - 1.0 hectares</p>	<p><b>AMEND</b> Minimum lot size for Subdivision: Community Water System and Community Wastewater System - 0.1 hectares Community Water System and On-site Wastewater Disposal - 0.2 hectares Individual Water Source and Community Wastewater System - 0.2 hectares Individual Water Source and On-site Wastewater Disposal - 1.0 hectares</p>	Consistent use of terms.
Section 24(1) Country	Permitted uses, buildings and structures: Principal Uses	<p><b>AMEND</b> Permitted uses, buildings and structures:</p>	Puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the

Residential (R2) Permitted Uses	Single Detached Housing Duplex Housing Horticulture Accessory Uses Accessory Building or Structures Accessory Dwelling Unit see Section 22(46) Bed and Breakfast Accommodation see Section 22(22) Home-based Business see Section 22(21) Keeping of Farm Animals see Section 22(35) Vacation Rentals see Section 22(23)	Principal Uses Duplex Housing Horticulture <b>Single Detached Housing</b> Accessory Uses Accessory Building or Structures Bed and Breakfast Accommodation see Section 22(22) Home-based Business see Section 22(21) Keeping of Farm Animals see Section 22(35) <b>Secondary Suite</b> Vacation Rentals see Section 22(23)	density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024. Secondary suite added as a permitted accessory use for clarity.
Section 24(2) Country Residential (R2) Development Regulations	Maximum Density – 2 Dwelling units	<b>AMEND</b> <b>Minimum site area for each Principal Use – 1.0 Hectare</b>	Density modified to align with the density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024.
Section 24(9) Country Residential (R2) Development Regulations	Minimum lot area for Subdivision - 1.0 hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision - 1.0 hectare	Consistent use of terms.
Section 25(1) Rural Residential (R3) Permitted Uses	Permitted uses, buildings and structures: Principal Uses Single Detached Housing Duplex Housing Horticulture Outdoor Recreational Activities Parks	<b>AMEND</b> Permitted uses, buildings and structures: Principal Uses Duplex Housing Horticulture Outdoor Recreational Activities Parks	Puts words into alphabetical order. Accessory uses modified to remove Accessory Dwelling Unit to align with the density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024. Secondary suite added as a permitted accessory use for clarity.

	<p>Resource Based Activities  Accessory Uses  Accessory Building or Structures  Accessory Dwelling Unit see Section 22(46)  Bed and Breakfast  Accommodation see Section 22(22)  Home-based Business see Section 22(21)  Keeping of Farm Animals see Section 22(35)  Vacation Rentals see Section 22(23)</p>	<p>Resource Based Activities  <b>Single Detached Housing</b>  Accessory Uses  Accessory Building or Structures  Bed and Breakfast  Accommodation see Section 22(22)  Home-based Business see Section 22(21)  Keeping of Farm Animals see Section 22(35)  <b>Secondary Suite</b>  Vacation Rentals see Section 22(23)</p>	
<p>Section 25(2)  Rural Residential (R3)  Development Regulations</p>	<p>Maximum Density – 2 Dwelling Units</p>	<p><b>AMEND</b>  <b>Minimum site area for each Principal Use – 2.0 hectares</b></p>	<p>Density modified to align with the density permitted prior to Amendment Bylaw no. 2956 which was adopted by the Board in July 2024.</p>
<p>Section 25(9)  Rural Residential (R3)  Development Regulations</p>	<p>Minimum lot area for Subdivision - 2.0 hectares</p>	<p><b>AMEND</b>  Minimum lot <b>size</b> for Subdivision - 2.0 hectares</p>	<p>Consistent use of terms.</p>
<p>Section 26(9)  Town-Site Commercial (C1)  Development Regulations</p>	<p>Minimum lot area for Subdivision:  Community Water System and Community Wastewater System – 0.1 Hectares  Community Water System and On-site Wastewater Disposal – 0.2 Hectares  Individual Water Source and Community Wastewater System – 0.2 Hectares</p>	<p><b>AMEND</b>  Minimum lot <b>size</b> for Subdivision:  Community Water System and Community Wastewater System – 0.1 Hectares  Community Water System and On-site Wastewater Disposal – 0.2 Hectares  Individual Water Source and Community Wastewater System – 0.2 Hectares</p>	<p>Consistent use of terms.</p>

	Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	
Section 27(9) Tourist Commercial (C2) Development Regulations	Minimum lot area for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On- site Wastewater Disposal – 0.2 Hectares Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On-site Wastewater Disposal – 0.2 Hectares Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	Consistent use of terms.
Section 28(9) Ainsworth Resort Commercial (C3) Development Regulations	Minimum lot area for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On- site Wastewater Disposal – 0.2 Hectares Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On-site Wastewater Disposal – 0.2 Hectares Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	Consistent use of terms.
Section 29(9) Community Service (CS) Development Regulations	Minimum lot area for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On- site Wastewater Disposal – 0.2 Hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision: Community Water System and Community Wastewater System – 0.1 Hectares Community Water System and On-site Wastewater Disposal – 0.2 Hectares	Consistent use of terms.

	Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	Individual Water Source and Community Wastewater System – 0.2 Hectares Individual Water Source and On-site Wastewater Disposal – 1.0 Hectares	
Section 30(9) Parks and Recreation (PR) Development Regulations	Minimum lot area for Subdivision - 1.0 hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision - 1.0 hectares	Consistent use of terms.
Section 31(9) Parks and Recreation Ainsworth Resort (PR1) Development Regulations	Minimum lot area for Subdivision - 1.0 hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision - 1.0 hectares	Consistent use of terms.
Section 32(7) Environmental Reserve (ER) Development Regulations	Minimum lot area for Subdivision - 1.0 hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision - 1.0 hectares	Consistent use of terms.
Section 33(7) Resource Area (RA) Development Regulations	Minimum lot area for Subdivision - 15.0 hectares	<b>AMEND</b> Minimum lot <b>size</b> for Subdivision - 15.0 hectares	Consistent use of terms.

**Amendments to Regional District of Central Kootenay Zoning Bylaw No. 1675, 2004 (F, I, J, K)**

Section Number	Existing Item / Wording	Change	Rationale
Section 1600 Rural Residential I (R3I) Permitted Uses	Dwellings: Single Detached Housing Duplex Housing Horticulture Veterinary Clinics Accessory Uses: Accessory Buildings and Structures Accessory Dwelling Unit Accessory Tourist Accommodation Home Based Business Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Keeping of Farm Animals Sale of Site Grown Farm Products Portable Sawmills for processing of material harvested on site only	<b>AMEND</b> <b>Principal Uses:</b> Duplex Housing Horticulture Single Detached Housing Veterinary Clinics <b>Accessory Uses:</b> Accessory Buildings and Structures Accessory Dwelling Unit, <b>subject</b> <b>to Section 623</b> Accessory Tourist Accommodation Home Based Business Micro Cultivation, Cannabis Micro Processing, Cannabis Nursery, Cannabis Keeping of Farm Animals Sale of Site Grown Farm Products Portable Sawmills for processing of material harvested on site only	Clarifies which uses are principal rather than accessory, puts words into alphabetical order and connects reader to the accessory dwelling unit general regulations section.
Section 1601(2) Rural Residential I (R3I) Development Regulations	The maximum density is 2 Dwelling Units.	<b>AMEND</b> One Single Detached Housing or Duplex Housing is permitted and one additional Single Detached Housing or Duplex Housing shall be permitted per every additional four (4) hectares of site area.	Density modified to align with the density permitted prior to Amendment Bylaw no. 2958 which was adopted by the Board in July 2024.