



# Regional District of Central Kootenay

Box 590, 202 Lakeside Drive, Nelson, BC V1L 5R4

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Nelson Office Inspection Line: 352-8155

Toll Free Line: 1-800-268-7325

Creston: 428-5717

Nakusp 265-4111

Kaslo: 353-2311

Salmo: 357-9433

Slocan: 355-2277

Silverton: 358-2472

New Denver: 358-2316

For Office Use Only

## APPLICATION TO: CONSTRUCT - INSTALL - SITE OR MOVE - DEMOLISH

**Applicants are requested to fully complete this form before returning it to the Building Department; and to ensure the following information, where applicable, is included with this permit application form:**

- \_\_\_\_\_ one site plan of property **detailing all required information (see attached sample site plan)**
- \_\_\_\_\_ a **Current Title Search** (within the last 30 days) complete with referenced covenants **(Tax Assessment not acceptable)**
- \_\_\_\_\_ two complete sets of detailed construction plans of the proposed structure
- \_\_\_\_\_ HOMEOWNER PROTECTION OFFICE – either an *Owner/Builder Declaration and Disclosure Notice* **OR** *Residential Builder Proof of Home Warranty Insurance*. Contact HPO at 1-800-407-7757
- \_\_\_\_\_ a copy of the “Letter of Certification” for the onsite sewage disposal system (if applicable).
- \_\_\_\_\_ a copy of the Ministry of Highways access permit (Not required if access is off a secondary road)
- \_\_\_\_\_ If construction is within a Manufactured Home Park construction plans or site plan be approved by the Park owner/manager.

**YOUR APPLICATION MAY BE REJECTED OR ITS APPROVAL DELAYED  
IF ANY OF THE ABOVE IS MISSING OR IF THE FORM IS INCOMPLETE.**

- 1) Application to build or install a: \_\_\_\_\_
- 2) Site Address: \_\_\_\_\_
- 3) Legal Description: Lot \_\_\_\_\_ D/L \_\_\_\_\_ Plan \_\_\_\_\_ Other \_\_\_\_\_
- 4) Registered Owner: \_\_\_\_\_ Phone #: ( ) \_\_\_\_\_ Cell # \_\_\_\_\_  
E-mail address: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Postal Code \_\_\_\_\_
- 5) Representative (if applicable): \_\_\_\_\_ Phone #: ( ) \_\_\_\_\_ Cell # \_\_\_\_\_  
E-mail address: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Postal Code \_\_\_\_\_
- 6) Contractor: \_\_\_\_\_ Phone #: ( ) \_\_\_\_\_ Cell # \_\_\_\_\_
- 7) Architect / Engineer: \_\_\_\_\_ Phone #: ( ) \_\_\_\_\_ Cell # \_\_\_\_\_
- 8) **Entire cost of project when completed, including labor** \$ \_\_\_\_\_ (Subject to RD evaluation or assessment)
- 9) Class of Work will be: New  Addition  Renovation  Demolition  Move  Install
- 10) Are there any other buildings occupying any portion of the subject property noted above? Yes:  No:   
**If yes, describe their use and show their location on your site plan.**
- 11) Manufactured Home: Year \_\_\_\_\_ Certification Agency \_\_\_\_\_ Size: \_\_\_\_\_ Snow load: \_\_\_\_\_
- 12) Are there any Manufactured Home additions? Yes  No  **If Yes, include construction drawings.**
- 13) Method of Heating: Forced Air  Baseboard  Radiant Heat  Wood-burning Appliance
- 14) If a Wood-burning Appliance: Type: \_\_\_\_\_ Cert. Agency: CSA:  ULC:  W/H:

**IF THE PERMIT APPLIED FOR IS GRANTED, THE *OWNER* (and where the owner is acting through a representative, the representative) HEREBY ACKNOWLEDGES THE FOLLOWING:**

- to conform and be bound by the requirements of all relevant statutes, regulations, rules, orders in council and bylaws of the Province of British Columbia and the Regional District of Central Kootenay (the “Regional District”) including, but not limited to the current BC Building Code and the Regional District’s Building Bylaw.
- the *owner* has the full and sole responsibility to carry out the work in respect of which the permit was issued in full compliance with the Building Code, the Building Bylaw, and or other applicable enactments respecting safety.
- Neither the issuance of a permit under the Regional District’s Bylaw, the review and acceptance of the design, drawings, plans or specifications, nor inspections made by the Building Official, shall constitute a representation or warranty that the Building Code or the bylaw have been complied with or the building, structure or the plumbing system meets any standard of materials or workmanship, and no person shall rely on any of those acts as establishing compliance with the B.C. Building Code, the Building Bylaw or any standard of construction.

**I HAVE READ THE ABOVE AGREEMENT, RELEASE AND INDEMNIFY AND UNDERSTAND IT.**

I certify that I am the *owner*, as defined in the Building Bylaw. *Owner* means the registered *owner* in fee simple of real property for which a **permit** is applied for or issued under this Bylaw

DATE: \_\_\_\_\_

Signature of Registered Owner: \_\_\_\_\_

Name of owner: ( print ) \_\_\_\_\_

Signature of Representative: \_\_\_\_\_  
(Owner’s Representative form signed & attached)

Signature of Witness: \_\_\_\_\_

Name of Witness: (print) \_\_\_\_\_

**REGIONAL DISTRICT OF CENTRAL KOOTENAY  
WHEN MAKING APPLICATION FOR BUILDING PERMIT, THE FOLLOWING  
INFORMATION MUST BE PROVIDED:**

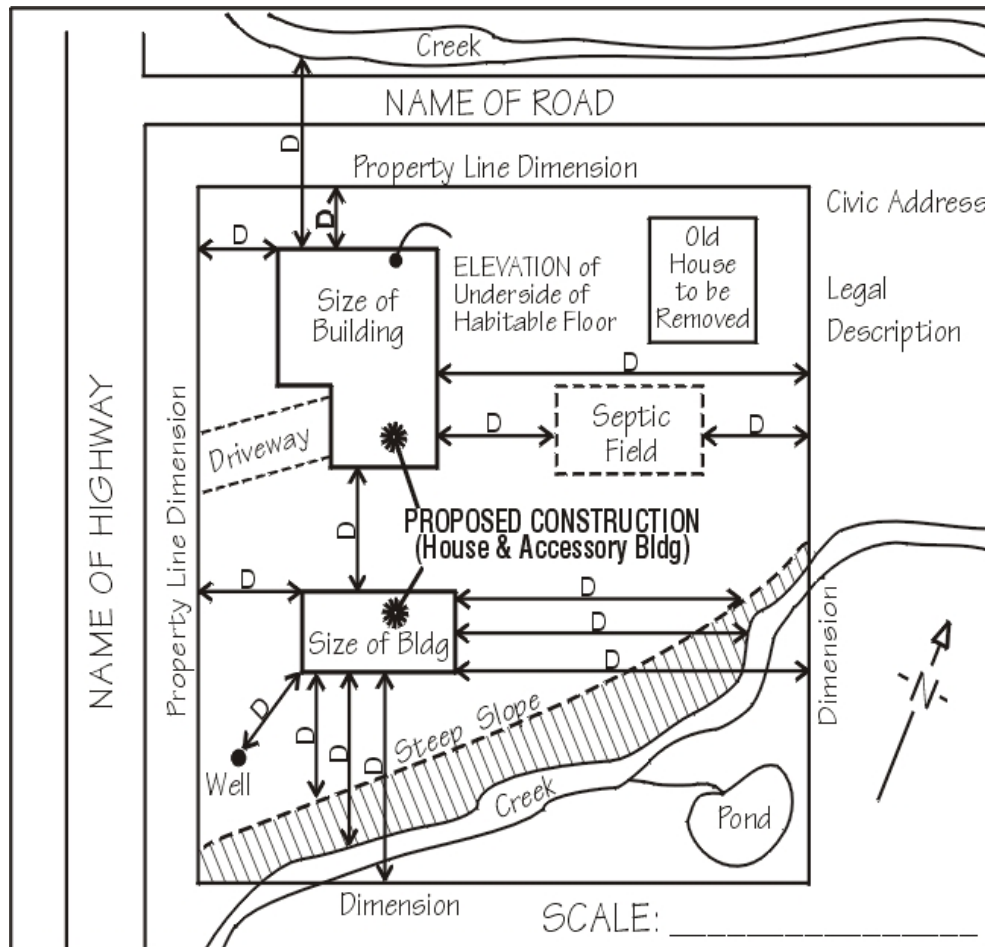
1. TWO COMPLETE AND ACCURATE SETS OF PLANS AND SPECIFICATIONS, correctly dimensioned and drawn to scale showing all details of the proposed building. These plans must be of sufficient detail and clarity to enable a builder to construct the building without requiring further information. Upon issuance of a building permit, one set of plans will be retained by the building inspection service and one set will be returned to the applicant with the building permit and must thereafter be kept at the job site until the building is completed.
2. A COMPLETE SET OF PLANS WILL SHOW:
  - a) SITE PLAN, indicating full legal description of lot (i.e.: Lot Number, Plan Number, District Lot number from your tax notice or title); lot dimensions; adjoining street names; locations and uses of existing and proposed buildings or additions; distances from all of property lines for existing and proposed buildings or additions; location of legal road access to the property; size, location and number of parking spaces (commercial use only); existing and proposed wells or other water sources; location of existing or proposed sewage disposal fields on property; location of any watercourses on property showing distances from existing or proposed buildings or additions; show north arrows; scale of Site Plan.
  - b) FOUNDATION PLAN
  - c) FLOOR PLAN, indicating use of all rooms; location of all plumbing fixtures; location, size and swing of all doors; location and size of all windows; location at which all sectional details required in d) below, are shown.
  - d) SECTIONAL DETAILS, including cross sections of the building taken at sufficient locations to adequately illustrate all structural details; cross section of stairs, ramps etc.
  - e) ELEVATIONS, sides, back and front,
  - f) SPECIFICATIONS, relating to the building which will designate all materials to be used, including: roof and wall sheathing; roofing materials; siding materials; insulation and vapour barrier details; sub-flooring; interior finish materials; species and grade of framing materials, etc.
  - g) A SCHEMATIC DRAWING shall be enclosed showing all sizes of pipe for rough plumbing.
3. APPLICATION FOR A PERMIT TO LOCATE A MANUFACTURED HOME need not be accompanied by any structural details of the mobile home itself, but must include information pertinent to manufactured homes, a plot plan, foundation plan, foundation sectional details, and a copy of the "Letter of Certification" for sewage disposal.
4. EVERY BUILDING PERMIT IS ISSUED ON THE CONDITION THAT:
  - a) work is to be started within six months from the date of issue of such permit;
  - b) work is not to be discontinued or suspended for a period of more than one (1) year;
  - c) work is to be completed within three (3) years from the date of issue of such permit.
5. THE BUILDING REGULATIONS OF BRITISH COLUMBIA, which include the B.C. Building Code and the B.C. Plumbing Code, are applicable.
6. WHERE A PRIVATE SEWAGE DISPOSAL SYSTEM is to be installed in accordance with the Sewerage System Regulation in B.C., we require a copy of the "Letter of Certification" from an Authorized Person (excavating contractor or professional engineer). For a list of Registered Onsite Wastewater Practitioners visit <http://owrp.asttbc.org/>
7. WHERE HIGHWAY ACCESS APPROVAL IS REQUIRED, a copy of a permit from the Highways Department must be included. Details of this permit shall be obtained from:

Ministry of Transportation, 310 Ward Street, NELSON, B.C. V1L 5S4      Phone: 250/354-6654 or 1-800/665-2515

## SAMPLE SITE PLAN

### INDICATE THE FOLLOWING:

- ⇒ Full legal description of lot, which is: lot number, plan number, District Lot number, and roll number (from your tax notice or title);
- ⇒ Location and uses of existing and proposed buildings and/or additions on lot;
- ⇒ Any existing buildings to be removed, if applicable;
- ⇒ Lot dimensions (frontage and depth);
- ⇒ Distances from all property lines, steep slopes and all watercourses (including name of watercourse) for existing and proposed buildings or additions;
- ⇒ Location of legal road access to the property;
- ⇒ Size, location and number of on-site parking spaces (commercial uses only);
- ⇒ Existing and proposed wells or other water sources;
- ⇒ Location of existing or proposed sewage disposal fields on property;
- ⇒ North Arrow; and scale of site plan, if applicable.



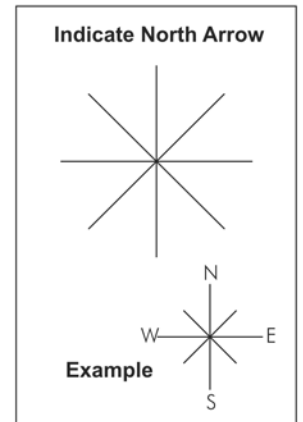
NOTE: D=Distance - Applicant must indicate actual distances in metres (feet)

# SITE PLAN

Owner's Name: \_\_\_\_\_

Legal Description: \_\_\_\_\_

Civic Address: \_\_\_\_\_



**AN INCOMPLETE SITE PLAN WILL DELAY YOUR PERMIT**

Scale: 1/4" = \_\_\_\_\_

